

**FOUNDATION PLAN**

BASIS OF DESIGN:  
 2006 IBC (INTERNATIONAL BUILDING CODE)  
 2006 IRC (INTERNATIONAL RESIDENTIAL CODE)

ROOF LIVE LOAD: 20 LBS  
 FLAT ROOF:  
 SLOPE ROOF: 15 LBS  
 FLOOR LIVE LOAD: 40 PSF  
 WIND LOADING: 30 MPH

**KEYNOTES**

- 1 COAT SYSTEM MIN 3/8" STUCCO ON 1" GA GALV. W/ LATH ON 1" T & G DOWN FOAM ON 3/8" OGB SHEATHING (STUCCO-ICBO 5392)
- 2 6" PLUMB. PLAN
- 3 100 SI COMBO 4 RELIF SEE MECH. PLAN
- 4 100 SI COMBO 4 RELIF SEE MECH. PLAN DRYER MACHINE
- 5 HEAT PUMP SEE MECH. PLAN
- 6 DISHWASHER
- 7 BATHTUB & SHOWER ENCLOSURES SHALL BE FINISHED PER T10 W/ CERAMIC TUB, OR A LISTED ENCLOSURE TO A HEIGHT OF 12" ABOVE THE DRAIN PER RT02.4 & R 13012 PLUMBING FIXTURES SHALL BE CONSTRUCTED OF DENSE, DURABLE, NON-ABSORBENT MATERIALS & SHALL HAVE SMOOTH, IMPERVIOUS SURFACES, FREE FROM UNNECESSARY CONCEALED FOULING SURFACES.
- 8 CLOTHES DRYER EXHAUST COMPLY W/ SECT M 1502
- 9 RANGE HOOD COMPLY W/ SECT M 1502 INSTALLATION OF MICROWAVE OVEN COMPLY SECT 1503 (OPTIONAL)
- 10 INSTALLATION OF MICROWAVE OVEN COMPLY SECT 1503. RANGE HOOD COMPLY W/ SECT M1502.
- 11 ELECTRIC RISER DIAGRAM ALL IN ONE (200 AMP) SEE ELEC PLAN
- 12 WATER ENTRY WITH 8.0V. SEE PLUMBING PLAN FOR DETAILS & LOCATION

**FLOOR PLAN**

TYP. WINDOW SILL HEIGHT 44" MAX. WINDOW OPENING 20" X 24" & THE TOTAL SQ. FT. OF THE OPENING MUST BE 5.1 SQ. FT.  
 ALL BEDROOMS WILL COMPLY W/ SECT 310 - IRC-2006

**THIS PROJECT WILL COMPLY W/ IRC-2006 & KC PANELS SPECIFICATIONS**

**FINISH HARDWARE NOTES:**

- 1. ALL FIXTURES SHALL CONFORM IN QUALITY & DESIGN TO NATIONALLY RECOGNIZED APPLICABLE STANDARDS ACCEPTABLE TO THE ADMINISTRATIVE AUTHORITY. ALL PORCELAIN ENAMEL SURFACES ON PLUMBING FIXTURES SHALL BE ACID RESISTANT. WATER CLOSET SEATS SHALL BE OF SMOOTH NON-ABSORBENT MATERIALS & SHALL BE PROPERLY SIZED FOR THE WATER BOWL TYPE.
- 2. HARDWARE SHALL BE ADJUSTED, CLEANED AND CERTIFIED BY HARDWARE CONSULTANT/CONTRACTOR
- 3. FINISH HARDWARE KEYS SHALL BE COORDINATED WITH THE BUILDING'S MASTER KEYING SYSTEM.
- 4. ALL DOORS (NEW AND RELOCATED) SHALL HAVE RUBBER SILENCERS, AND DOOR STOPS.

**FLOORING NOTES:**

CONTRACTOR SHALL INSPECTED THE SUB FLOORING BEFORE COMMENCEMENT OF WORK CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FINISHED WORK CAUSED BY SUB-FLOOR CONDITIONS AND CORRECTIONS REQUIRED BY THE ARCHITECT.

**FINISHING NOTES:**

- 1. ALL WORK SHALL BE PERFORMED IN A FIRST-CLASS, WORKMANLIKE MANNER MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A NEAT AND FINISHED APPEARANCE. CONTRACTOR SHALL CLEAN SURFACES FREE OF ALL DIRT AND DEBRIS. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF INSTALLATION(S). ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION.
- 2. DRYWALL TO BE PAINTED SHALL RECEIVE A "LIGHT STIPPLE" FINISH; DRYWALL TO BE FINISHED WITH FRP BOARD, WALL COVERING AND/OR VENEER SHALL RECEIVE A SMOOTH FINISH. ALL JOINTS, SCREWS AND METAL SHALL RECEIVE MINIMUM THREE COATS JOINT COMPOUND WITH SANDING BETWEEN EACH COAT. APPLY A THIN PUTTY COAT TO ALL SURFACES. ALL EXISTING DRYWALL OR PLASTER AREAS (INCLUDING EXISTING CORNER BEADS) ARE TO BE REPAIRED, TAPE SKIMMED AND FINISHED ALONG WITH NEW DRYWALL. DRYWALL CONTRACTOR SHALL RE-TOUCH FINISH AS NECESSARY AFTER FIRST COAT OF PAINT AND PRIOR TO FINAL POINT.
- 3. PAINTED DRYWALL SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS OF MANUFACTURER'S HIGHEST PREMIUM BRAND PRODUCT(S). REFER TO BUILDING STANDARD FINISHING NOTES FOR PAINT TYPES, FINISHES AND COLOR SPECIFICATIONS. DRYWALL TO RECEIVE FRP BOARD, WALL COVERING AND/OR VENEER SHALL RECEIVE ONE COAT OF SEALER PRIMER. DOOR FRAMES SHALL RECEIVE ONE COAT OF PRIMER AND TWO COATS OF SEMI-GLOSS.

**WALL SCHEDULE**

- 6" W EXTERIOR KC PANEL SEE SPECIFICATIONS
- 4" W INTERIOR KC PANEL SEE SPECIFICATIONS
- 6" W (PLUMBING PLAN) INTERIOR KC PANEL SEE SPECIFICATIONS
- 6" W (BEARING WALL) INTERIOR KC PANEL SEE SPECIFICATIONS

**DOOR & WINDOWS SCHEDULE**

- WINDOW 4060 X0 W/ ARCH CUSTOM U=.65 LOW E
- WINDOW 3060 X0 W/ ARCH CUSTOM U=.65 LOW E
- WINDOW 6060 X0 W/ ARCH CUSTOM U=.65 LOW E
- WINDOW 4060 X0 W/ ARCH CUSTOM U=.65 LOW E
- WINDOW 2020 X0 (S.G.) U=.65 LOW E
- WINDOW 3030 X0 U=.65 LOW E
- WINDOW 2020 X0 U=.65 LOW E
- WINDOW 2020 X0 (S.G.) U=.65 LOW E
- WINDOW 3030 X0 U=.65 LOW E
- WINDOW 2020 X0 U=.65 LOW E
- WINDOW 2020 X0 (S.G.) U=.65 LOW E
- WINDOW 3030 X0 U=.65 LOW E
- WINDOW 2020 X0 U=.65 LOW E
- WINDOW 2-2510 SL

**ABBREVIATION**

- SH SHELVES
- HT HEIGHT
- R/S ROD & SHELVES
- EF EXHAUST FAN
- REF REFRIGERATOR
- R/O RANGE/OVEN
- FFE FINISH FLOOR ELEVATION
- 4" FROM FFE: 0.00
- 1/2" FROM FFE: 0.00
- CEILING HT = 1'-0" COORDINATE W/ G.C.

**FIXTURE SCHEDULE**

BATHROOM	QUANTITY
LAV	2
UC	2
TUB/SHUR	2
OPTIONAL - (SHOWER ONLY) AT MASTER BEDROOM	
LAUNDRY	
WASHER/DRYER	
MOP SINK	
WATER HEATER (POINT OF USE)	
KITCHEN	
KITCHEN SINK	
GARBAGE DISPOSAL	
DISHWASHER	
RANGE/OVEN	
REFRIGERATOR	

THIS PROJECT WILL COMPLY W/ IRC-2006 - Table R202.3.5 Footnoted.  
 Ceiling with a truss joint spanning over 16' oc. - need to be provided with a min. of either 5/8" GWS or 1/2" Sag-Resistant gypsum board.

**CHAPTER 3, USE AND OCCUPATION CLASSIFICATION, IBC-2006**

OCC. GROUP	OCC. LOAD	CONST. TYPE	AREA SF	SPRINKLERS	ALARMS
R-3 (RESIDENCE)	N/A	V-B	1538	NO	SMOKE
R-3(PORCH)	N/A		91	NO	NO

**SEE GENERAL NOTES & DETAILS**

APPROVED PLANS MUST BE KEPT ON JOB AT ALL TIMES

**2006 IECC CALCULATION**

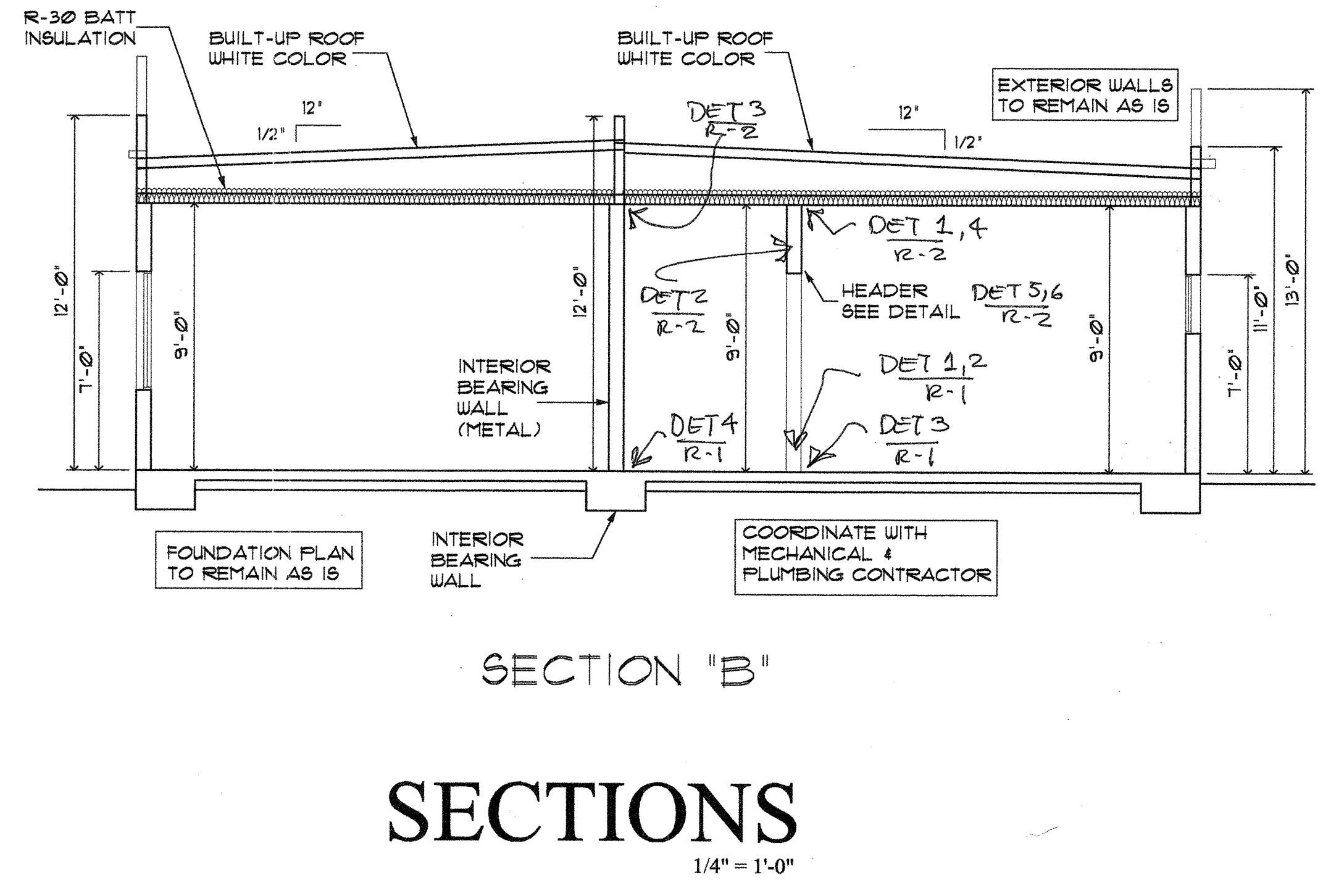
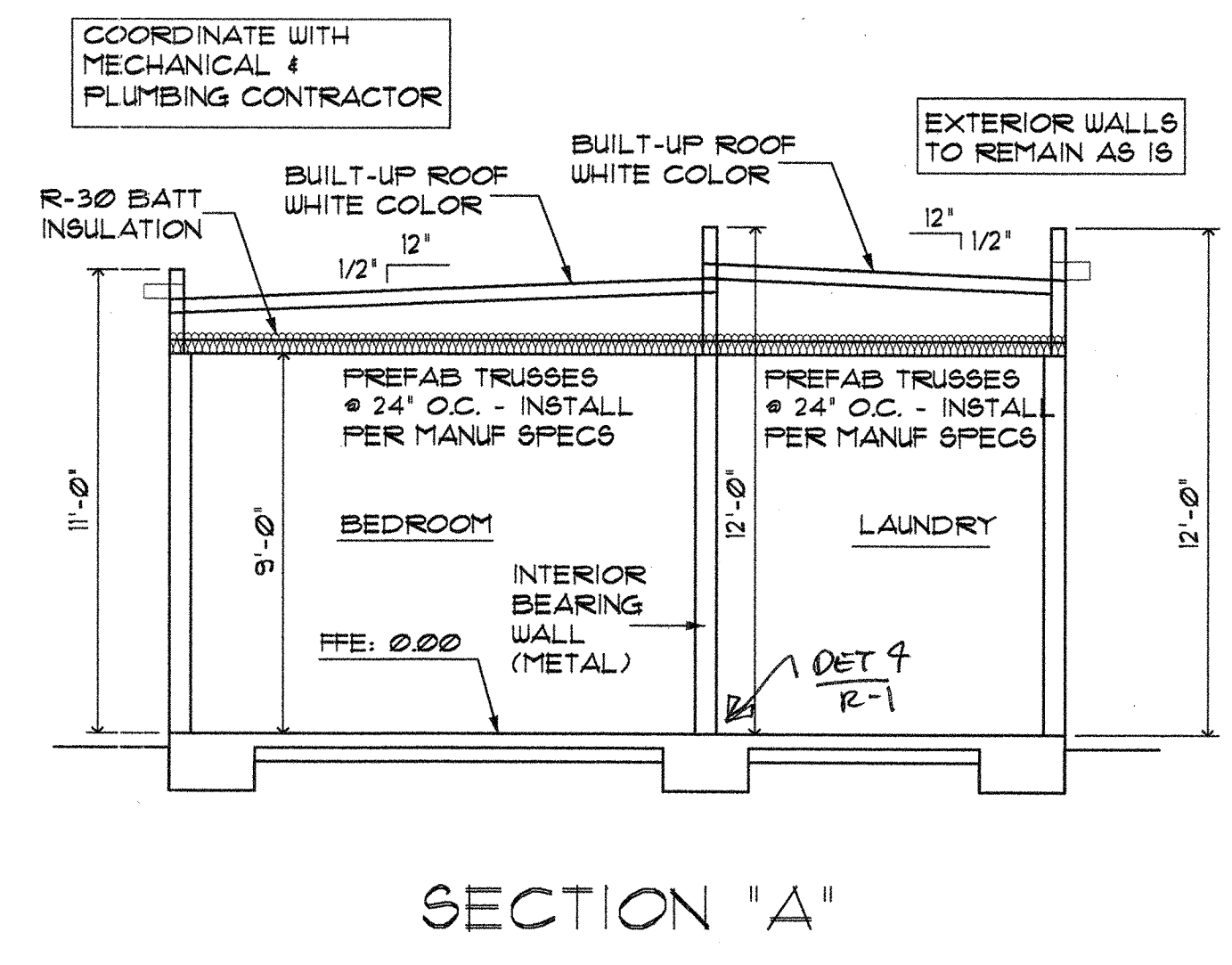
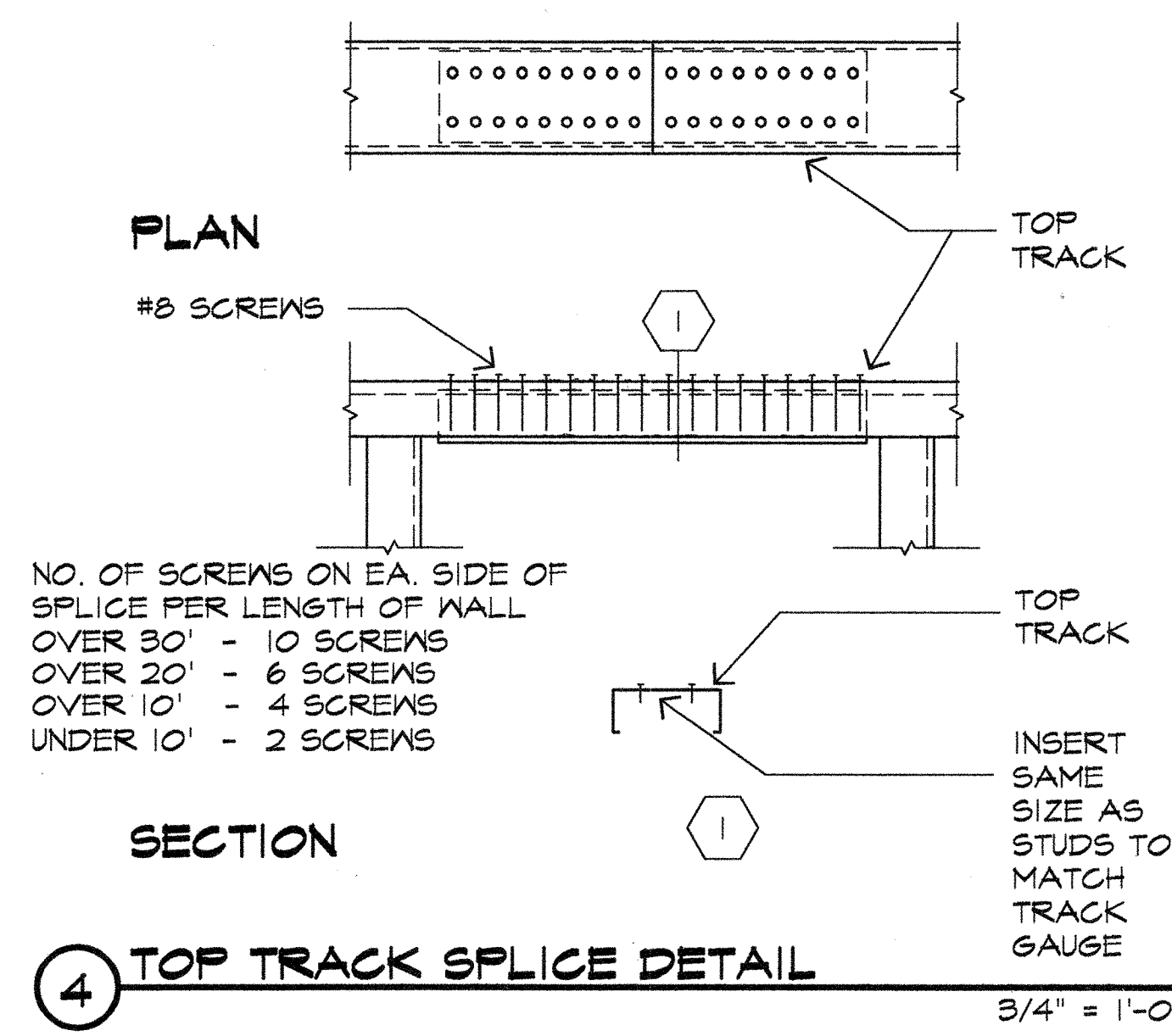
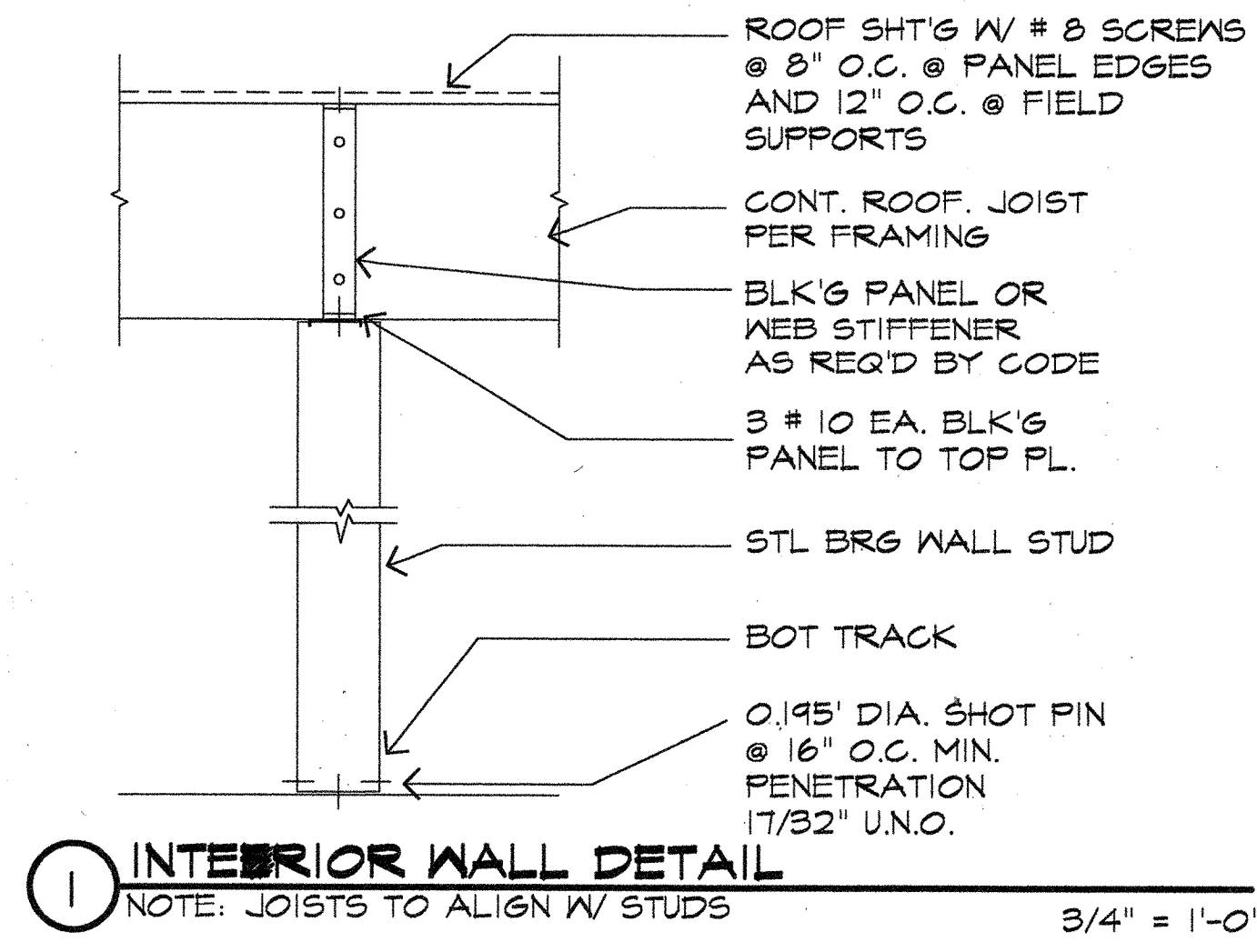
THIS PROJECT COMPLY W/ IECC 502.2.4 FOR WINDOWS & DOORS FOR ENERGY CONSERVATION - ENERGY EFFICIENCY - SECT. N 102 BUILDING ENVELOPE:  
 MTL WINDOW-DOUBLE PANE U=.65  
 EXTERIOR DOOR U=.35  
 PATIO DOOR- MTL DOUBLE PANE U=.35  
 CEILING (6' W) R 41  
 WALLS (6' W) R 41  
 SEE KC PANELS SPECIFICATIONS FOR REAL R-VALUE

30 Aug 2007  
 JOB NO. 63-2K7 (A)

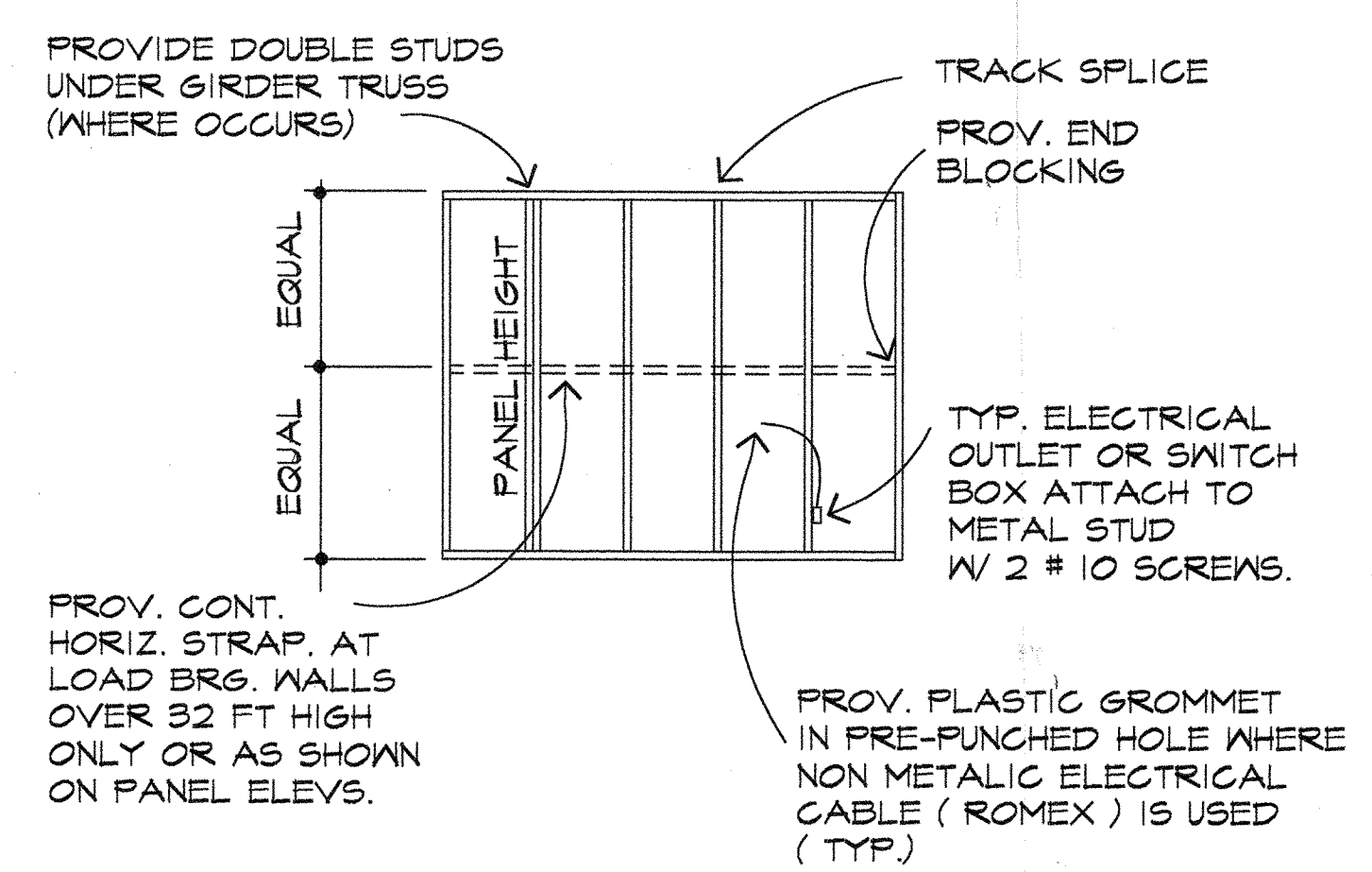
STAR DATE AUG 2007  
 DWGS by J.A.C.A. DESIGN L.L.C.  
 DRAFTING SERVICES TUCSON, ARIZONA  
 jacadesign3@hotmail.com  
 CELL(520) 808-4052 - FAX (520) 616-0200  
 POOR ARCHITECTURE IS NOT THE SAME AS ARCHITECTURE FOR THE POOR

- DRAWING INDEX:**
- S-01 SITE PLAN
  - A-01 FOUND. PLAN
  - A-02 WALL PLAN
  - A-03 SECTION ELEVATIONS
  - A-04 PLUMB. PLAN
  - A-05 MECH. PLAN
  - A-06 ELEC. PLAN
  - D-01 DETAILS
  - GN-01 GEN. NOTES

PROJECT: **SINGLE FAMILY RESIDENCE**  
 3115 E 27TH ST TUCSON  
 Parcel 130-10-1780  
 MARCO AGUILAR  
 2225 S 6H AVE  
 TUCSON AZ 85713-3404  
 CITY PARKSIDE LOT 13 BLK 1  
 3115 E 27TH ST TUCSON  
 Docket 12598, Page 1811  
 Book 5, Page 59  
 Township 14S, Range 14E, Section 21  
 SHEET NO. A-01 OF 58



**SECTIONS**

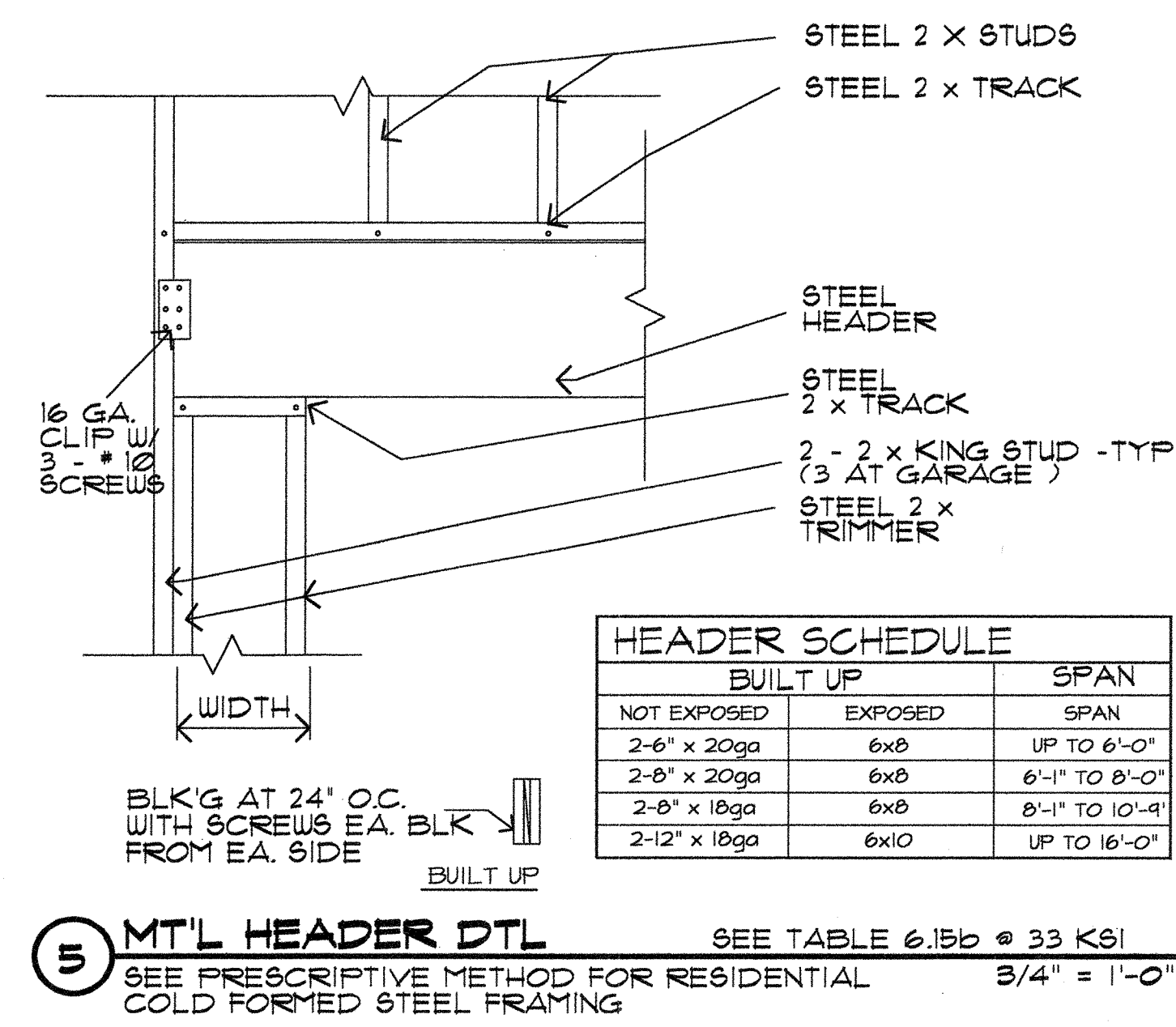
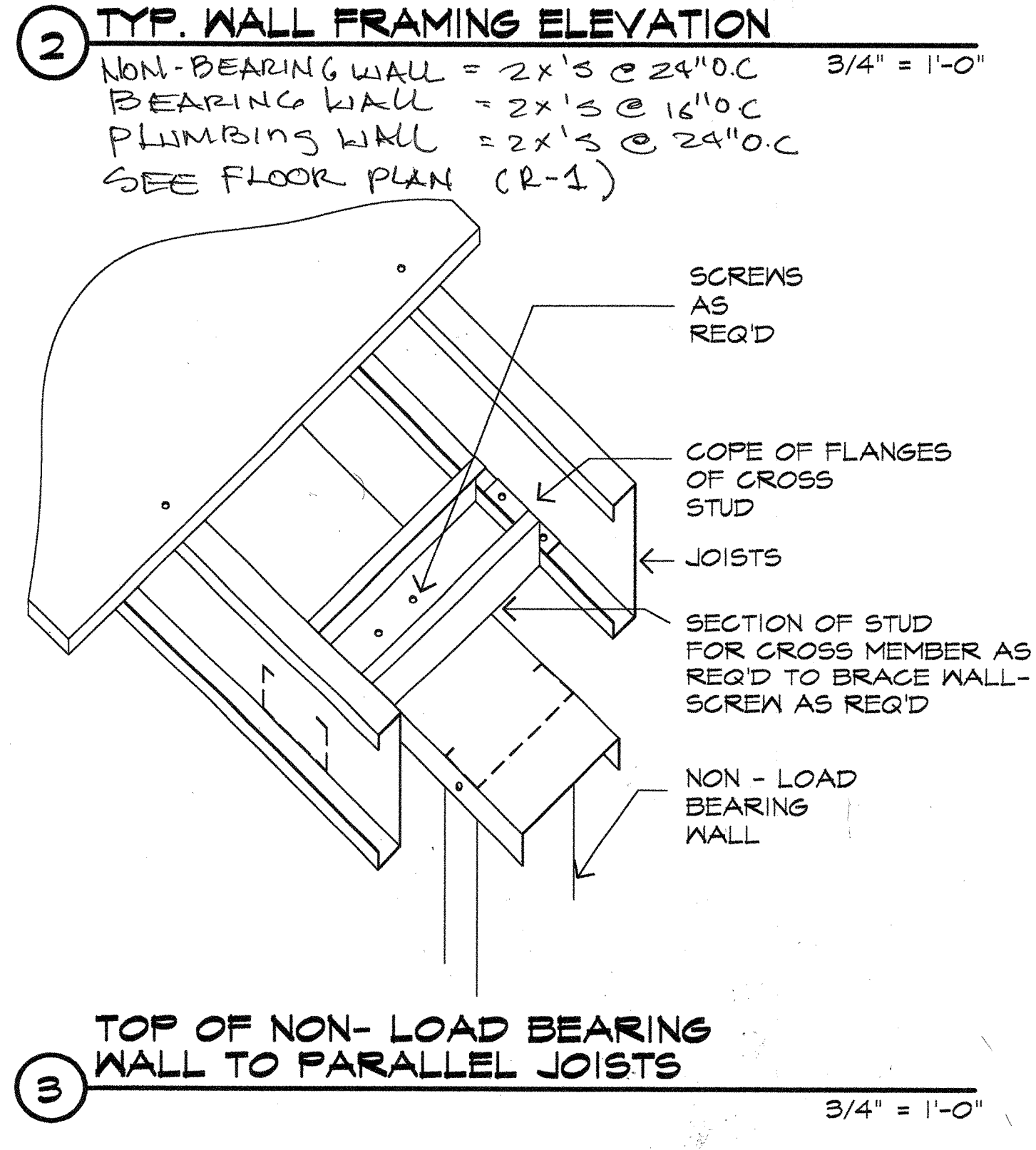


NOTE:  
COMMENTARY ON THE PRESCRIPTIVE METHOD FOR RESIDENTIAL COLD-FORMED STEEL FRAMING:

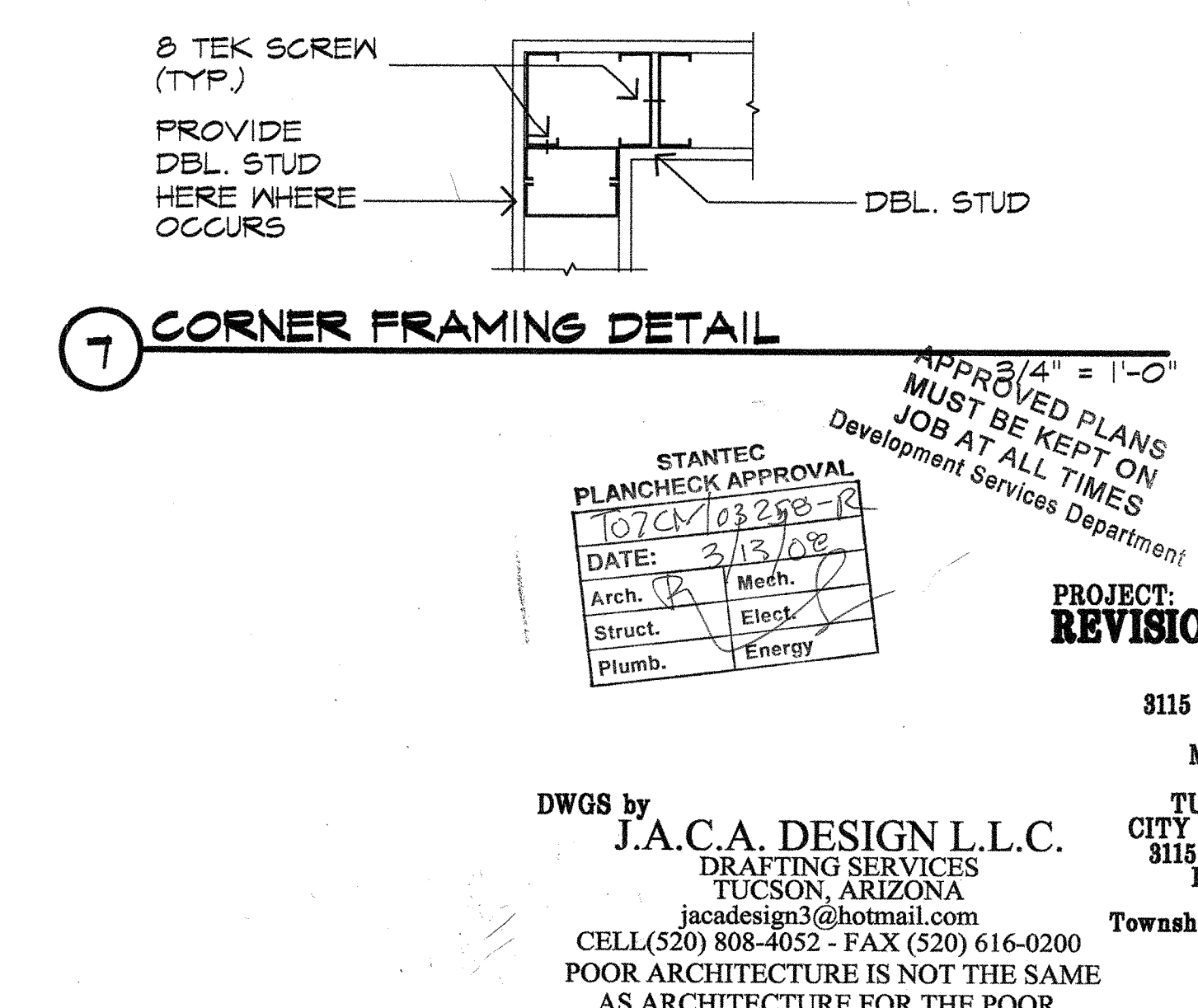
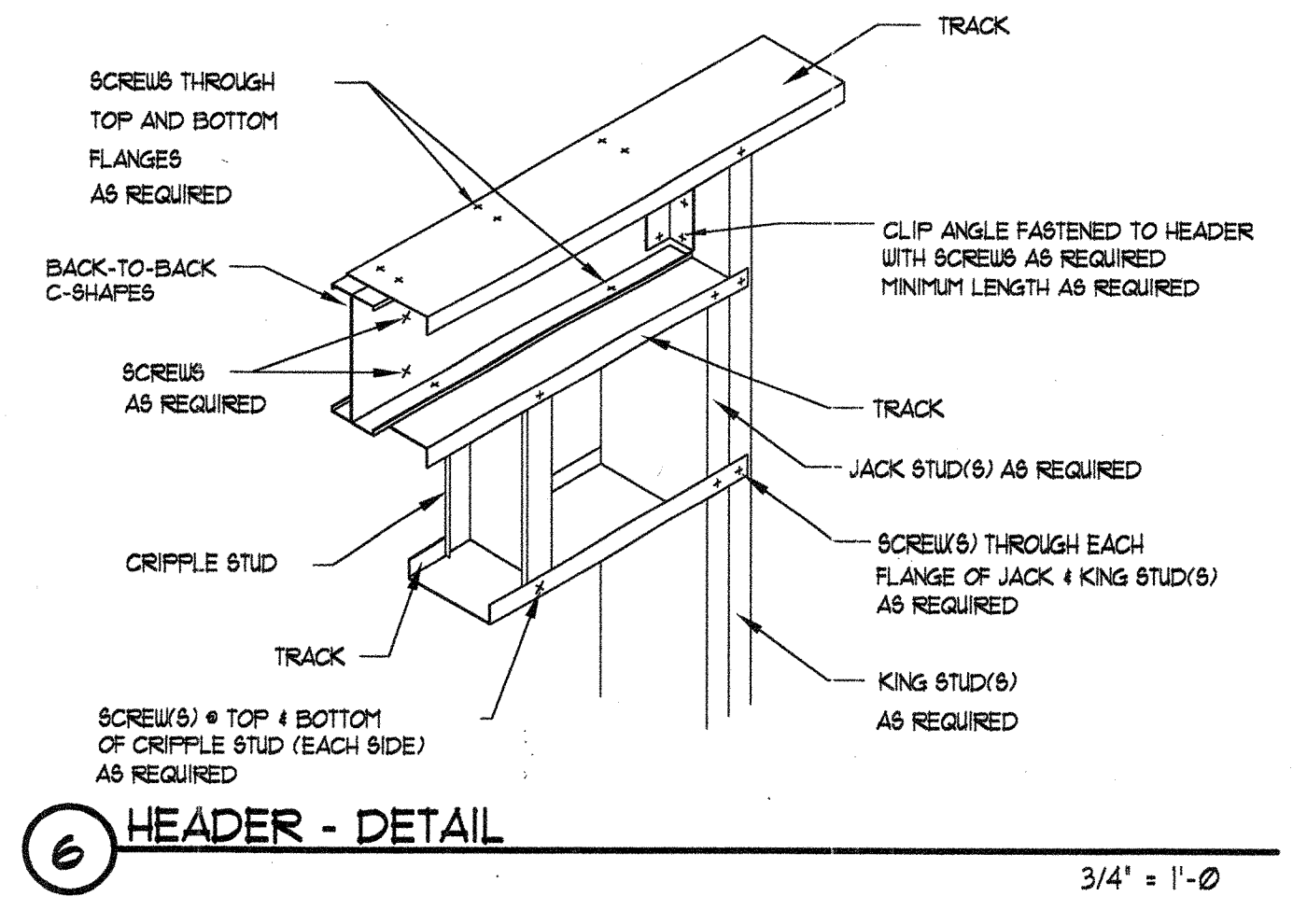
FOR HEADER SCHEDULE. SEE TABLE 6.15B  
ALLOWABLE HEADER SPANS FOR HEADER SUPPORTING ROOF & CEILING ONLY (33 KSI) - 50 PSF GROUND SNOW LOAD, PAGE 67 FOR STEEL STUD THICKNESS FOR 9' HT WALLS SUPPORTING ROOF & CEILING ONLY. (ONE STORY BLD'G) 33 KSI STEEL. SEE TABLE 6.5.

SEE PRESCRIPTIVE METHOD TABLES FOR:  
WALL FRAMING (TABLE 6.2) HEADER (TABLE 6.15b) JACK AND KING STUDS (TABLE 6.18)

SCREWS FOR HEADER AT KING STUD CONN. (TABLE 6.19)  
ROOF FRAMING  
CEILING JOIST (TABLE 8.1) HORIZONTAL RAFTER (TABLE 8.12)  
SCREWS FOR HEEL JOINT CONN. (TABLE 8.2)  
SCREWS FOR EA. LEG OF CLIP ANGLE (TABLE 8.3)



HEADER SCHEDULE		
BUILT UP		SPAN
NOT EXPOSED	EXPOSED	SPAN
2-6" x 20ga	6x8	UP TO 6'-0"
2-8" x 20ga	6x8	6'-1" TO 8'-0"
2-8" x 18ga	6x8	8'-1" TO 10'-4"
2-12" x 18ga	6x10	UP TO 16'-0"



STANTEC PLANCHER APPROVAL  
107CM/03258-R  
DATE: 3/13/08  
Arch. [Signature] Mech. [Signature]  
Struct. [Signature] Elect. [Signature]  
Plumb. [Signature] Energy [Signature]

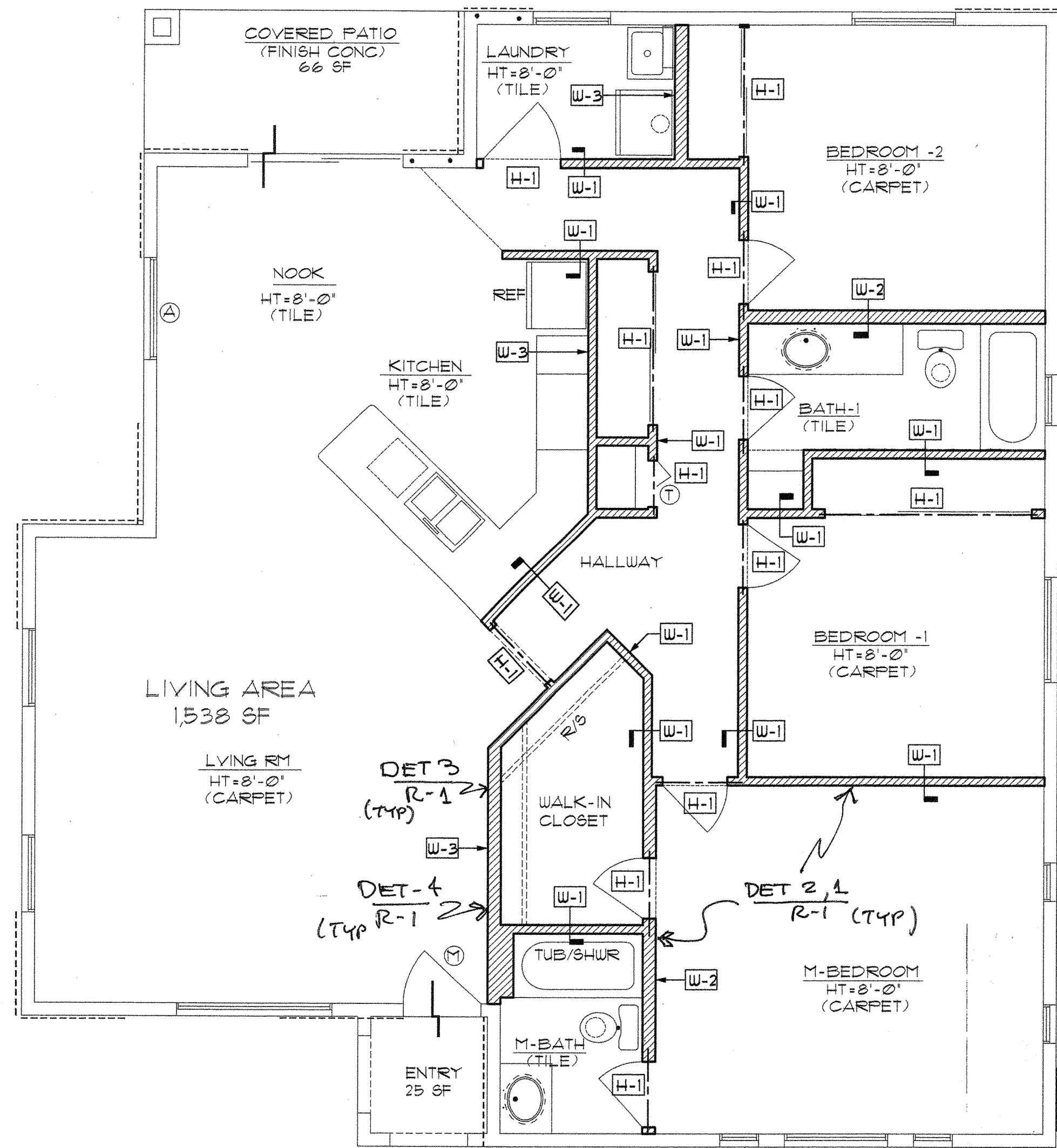
APPROVED PLANS MUST BE KEPT ON JOB AT ALL TIMES  
Development Services Department

JOB NO. 46-2K8  
STAR DATE FEB 2008  
DRAWING INDEX:  
A-01 FLOOR PLAN  
ROOF PLAN  
SECTIONS  
DETAILS

PROJECT:  
**REVISION ROOF FRAMING (S.F.R.)**  
8115 E 27TH ST TUCSON  
Parcel 180-10-1780  
MARCO AGUILAR  
2225 S 6TH AVE  
TUCSON AZ 85713-3404  
CITY PARKSIDE LOT 18 BLK I  
8115 E 27TH ST TUCSON  
Docket 12559, Page 1811  
Book 5, Page 89  
Township 14S, Range 14E, Section 21

DWGS by  
**J.A.C.A. DESIGN L.L.C.**  
DRAFTING SERVICES  
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jacadesign3@hotmail.com  
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POOR ARCHITECTURE IS NOT THE SAME AS ARCHITECTURE FOR THE POOR

SHEET NO. R-2  
OF 21 SHEETS



# FLOOR PLAN

1/4" = 1'-0"

REVISION - INTERIOR WALLS - ALL EXTERIOR WALLS TO REMAIN AS IS

- W-1 METAL HDR SEE DET 5,6 R-2 (TYP)
- W-1 2 X 4 INTERIOR NON-BEARING WALL (METAL) @ 24' O.C.
- W-2 (PLUMBING WALL) 2 X 6 INTERIOR NON-BEARING WALL (METAL) @ 24' O.C.
- W-3 2 X 6 INTERIOR BEARING WALL (METAL) @ 16' O.C.

**DESIGN TRUSS ASSOCIATES** TRUSS CALCULATION COVER SHEET  
 1155 South Norris Ave  
 Tucson, Arizona 85719  
 520-240-8787  
 DATE: 03-13-08

JOB NAME Aguilar  
 PROJECT Aguilar  
 CUSTOMER  
 STATE SEAL ARIZONA  
 ENGINEER REF NO.

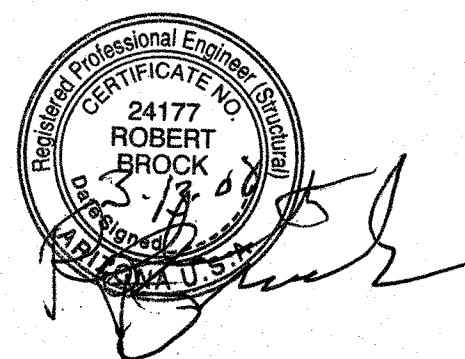
DESIGN LOADS  
 TOP CHORD LIVE 20 psf  
 TOP CHORD DEAD 20 psf  
 BOTTOM CHORD LIVE 0 psf  
 BOTTOM CHORD DEAD 10 psf

Re: roof equipment placement

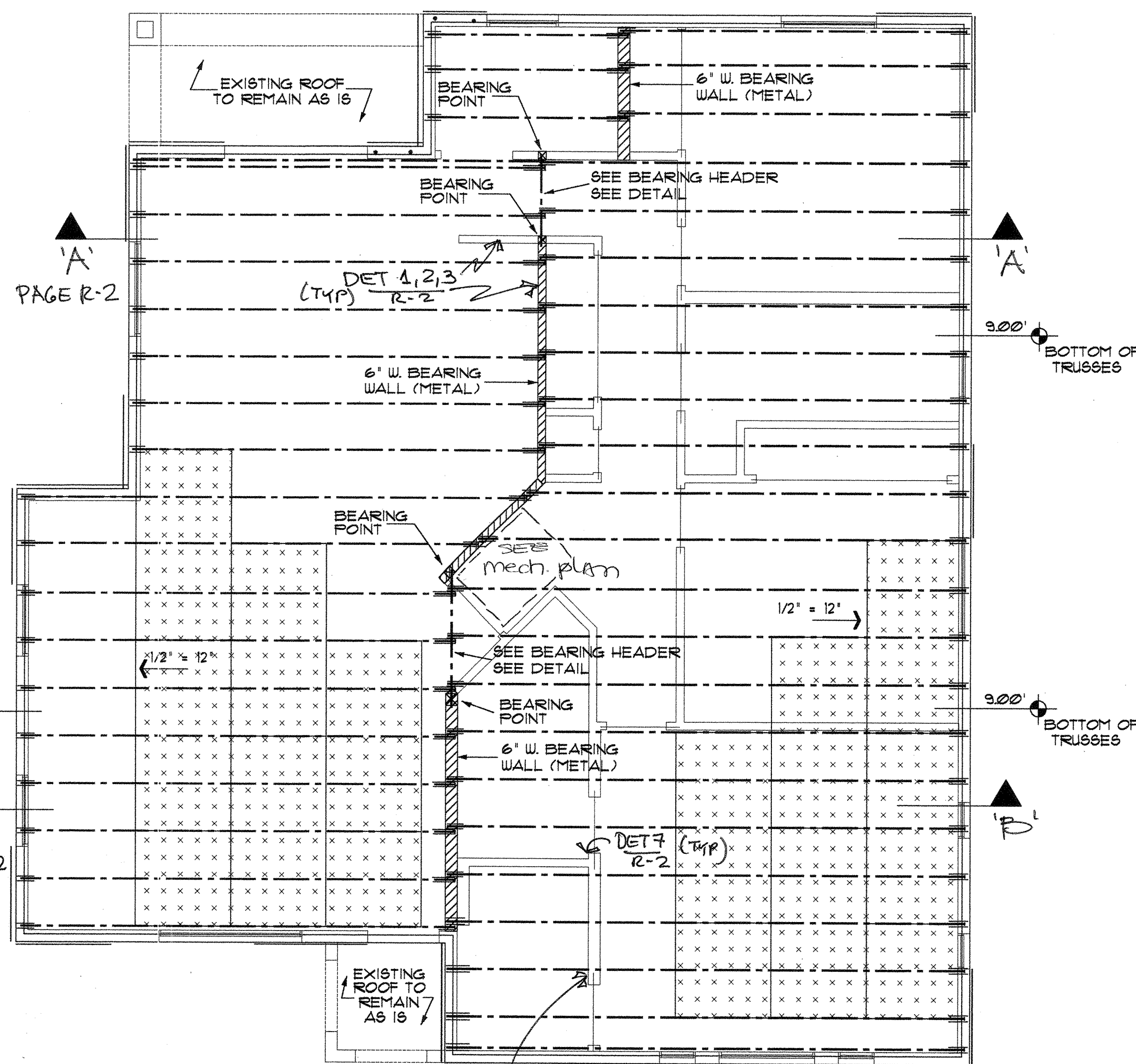
The above roof has been reviewed and analyzed for additional equipment loads. It is determined that the trusses are adequate to support the additional loads with the following criteria.

1. Equipment to span a minimum of 2 trusses.
2. Equipment to be placed within 6' of interior bearing wall.
3. Equipment limited to 600 pounds.

Any deviation from above will require review and inspection.



R603.1.2 - 2006 EDITION  
 All trusses are to be located inline with steel stud framing - (i.e. - each steel stud is to bear directly on a steel stud).

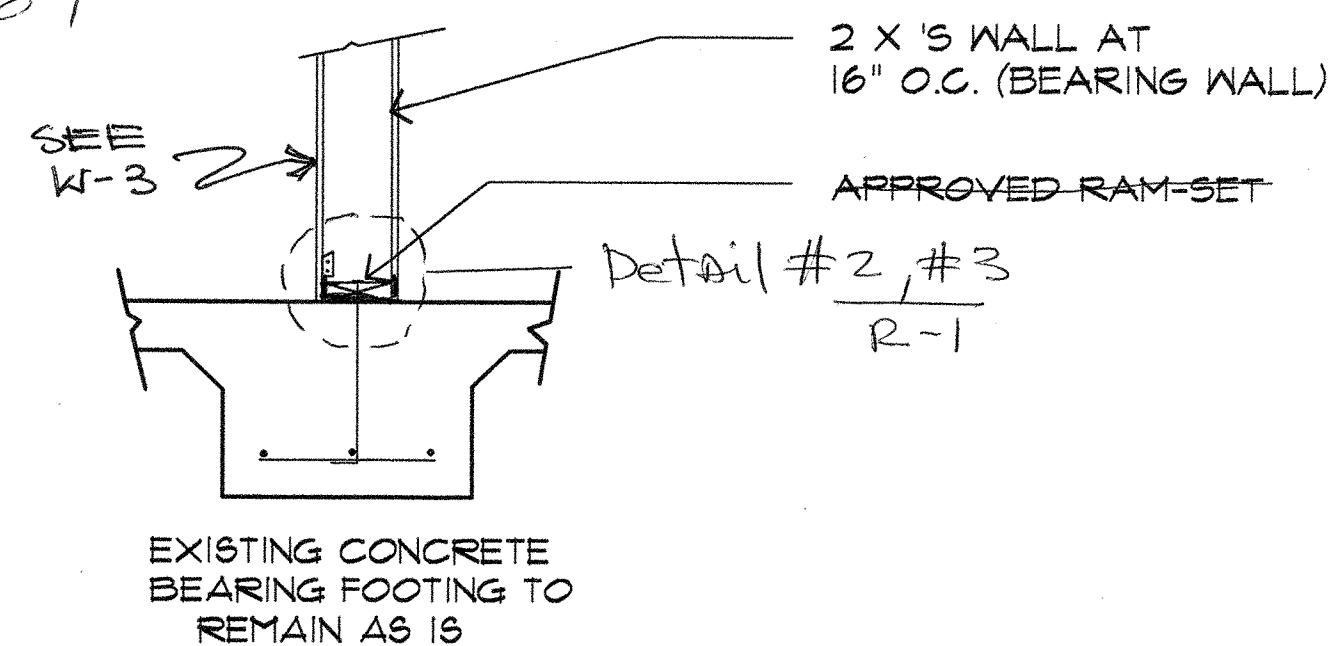


# ROOF PLAN

1/4" = 1'-0"

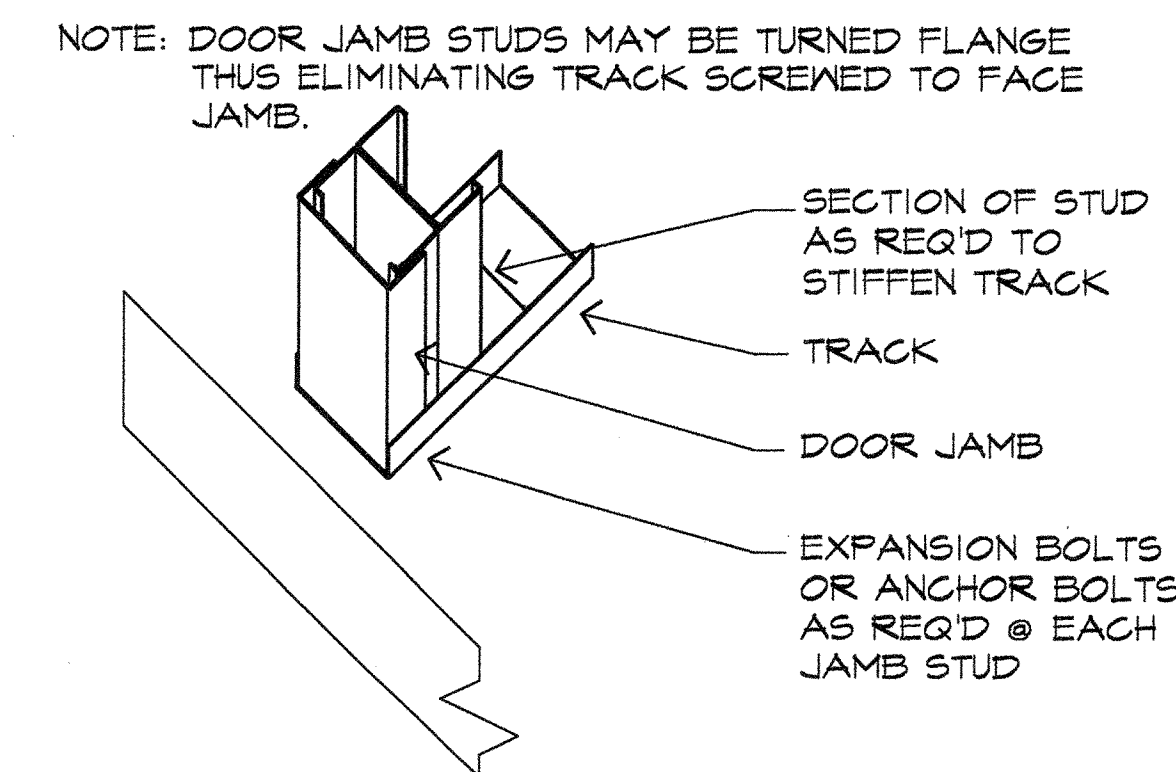
PREFAB METAL TRUSSES.  
 DESIGN TRUSS ASSOC.  
 1155 S. NORRIS AVE  
 TUCSON, ARIZONA 85719  
 520-240-8787

NOTE: SEE AGUILAR TRUSS PLACEMENT PLAN (ATTACHED)



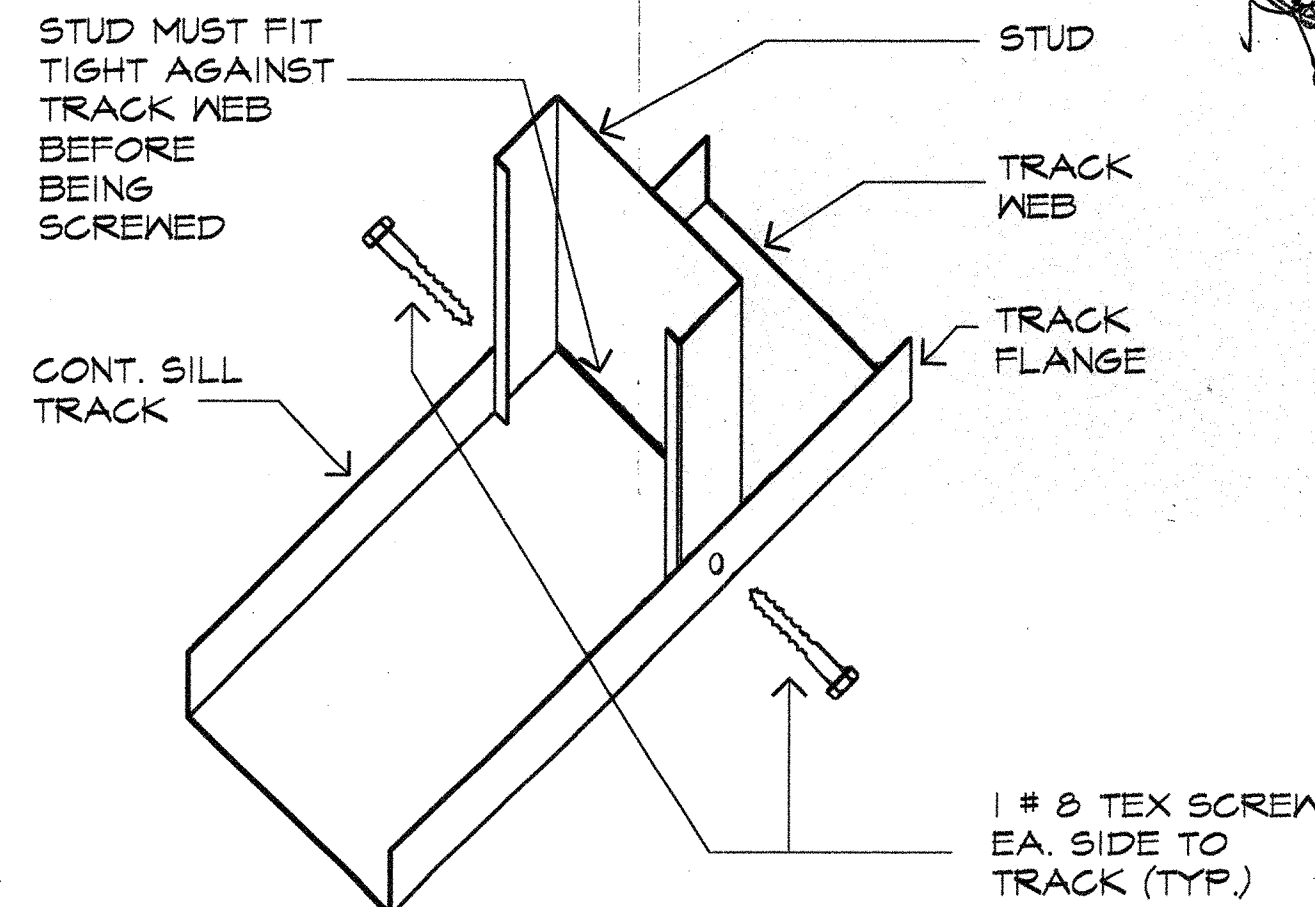
## 4 FT'G AT INT. BEARING WALL DTL

3/4" = 1'-0"



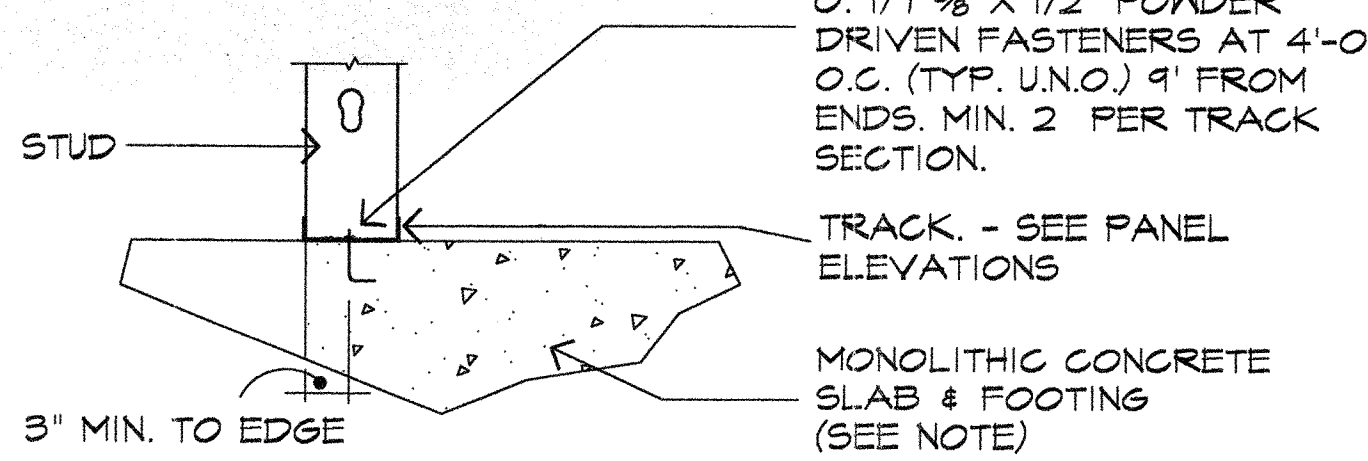
## 1 DOOR JAMB BASE DETAIL

3/4" = 1'-0"



## 2 TYP. STUD TO SILL TRACK CONNECTION

3/4" = 1'-0"



## 3 SHOT PIN DETAIL

3/4" = 1'-0"

NOTE: POWDER DRIVEN FASTENERS CANNOT BE USED IN A TWO POUR SYSTEM.

APPROVED PLANS MUST BE KEPT ON JOB AT ALL TIMES  
 STANTEC Development Services Department  
 PLANCHUCK APPROVAL  
 DATE: 3/13/08  
 Arch. [Signature] Mfch. [Signature]  
 Struct. [Signature] Elect. [Signature]  
 Plumb. [Signature] Energy [Signature]

## PROJECT: REVISION ROOF FRAMING (S.F.R.)

3115 E 27TH ST TUCSON  
 Parcel 130-10-1780  
 MARCO AGUILAR  
 2225 S 6th AVE  
 TUCSON AZ 85713-3404  
 CITY PARKSIDE LOT 13 BLK 1  
 3115 E 27TH ST TUCSON  
 Docket 12588, Page 1811  
 Book 5, Page 59  
 Township 14S, Range 14E, Section 21  
 SHEET NO. R-1  
 OF 58 SH.

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TOTCM03258

