

SAHUARO STREET

EXTERNAL CONSULTANT
SOUTHERN ARIZONA TESTING LABORATORY
P.O. BOX 2008
TUCSON, ARIZONA 85702-2008

- 1) ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE TO PIMA COUNTY - CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION.

PAVING AND GRADING NOTES

- 7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.

SEWER MAINTENANCE ACCESS AGREEMENT
BETWEEN 114 E RILLITO STREET AND 114 E SAHUARO STREET

THIS PROJECT WILL COMPLY WITH CITY OF TUCSON WATER HARVESTING QUANTITY MANUAL, ORDINANCE N° 10,210 - 6" MIN DEPRESSION WATER HARVESTING AREAS - PER LOC/DEV STDS

GRADING/PAVING PLAN
SITE GRADING PLAN

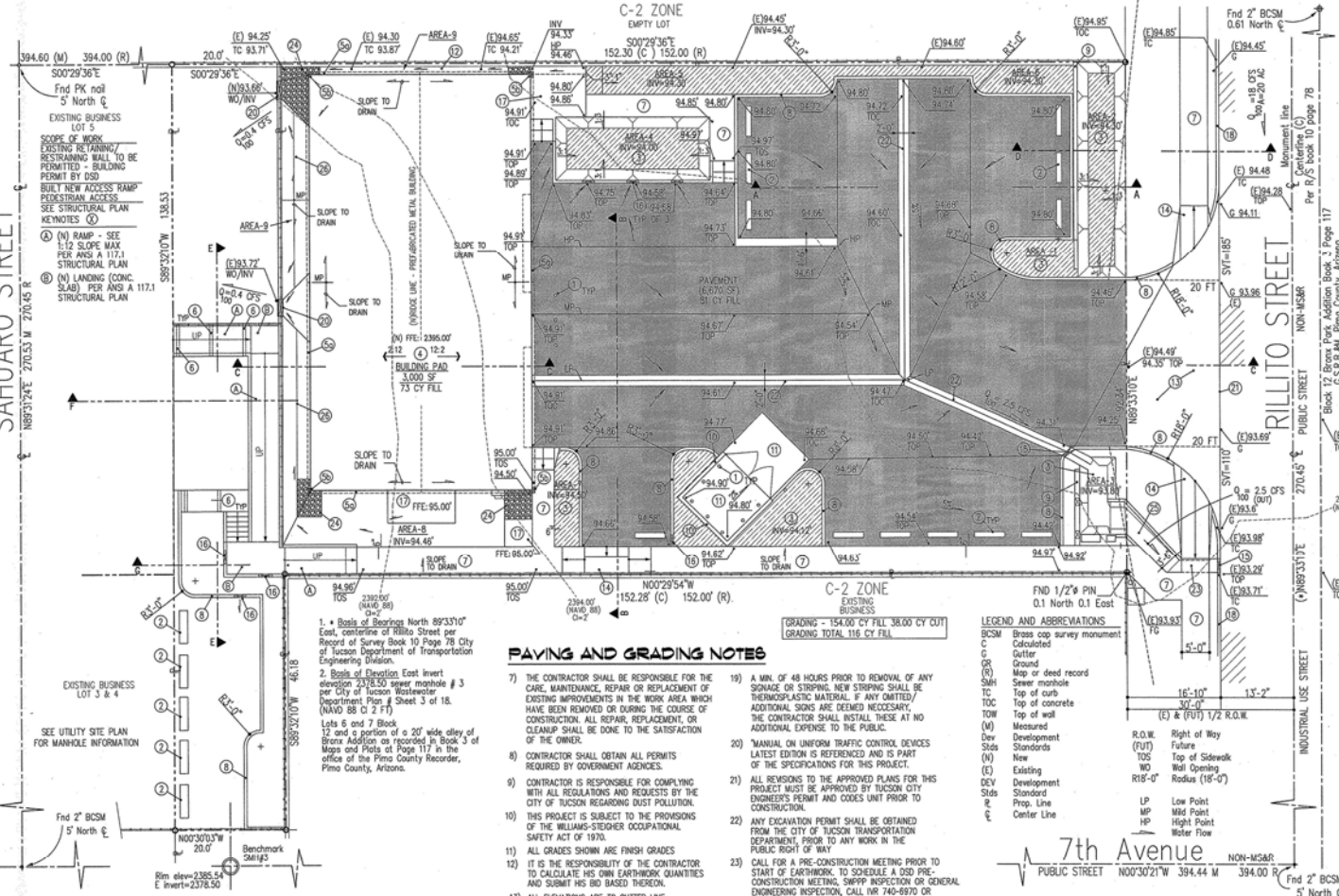
THIS PROJECT WILL COMPLY WITH CITY OF TUCSON DEVELOPMENT STANDARDS SECTION 11-01-D - EXCAVATING AND GRADING REQUIREMENTS

CITY OF TUCSON
City of Tucson
Engineering / Floodplain
GRADING PLAN APPROVAL

APPROVED
For the Mayor
Structural Engineer

CITY OF TUCSON
DSD / LANDSCAPING APPROVAL
Landscaping and Greening
Native Plant Preservation

CITY OF TUCSON
DSD / ZONING APPROVAL
Site Plan, Grading Plan, Soil Map, Lot Split, Sign, HPZ, SCZ



LOCATION MAP
THIS PROJECT TO COMPLY W/ DS 2-02.21.A.2 - LEGAL DESCRIPTION

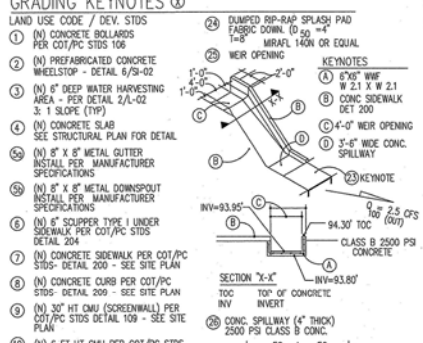
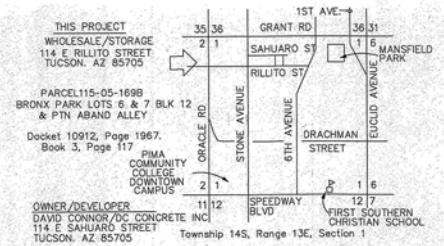
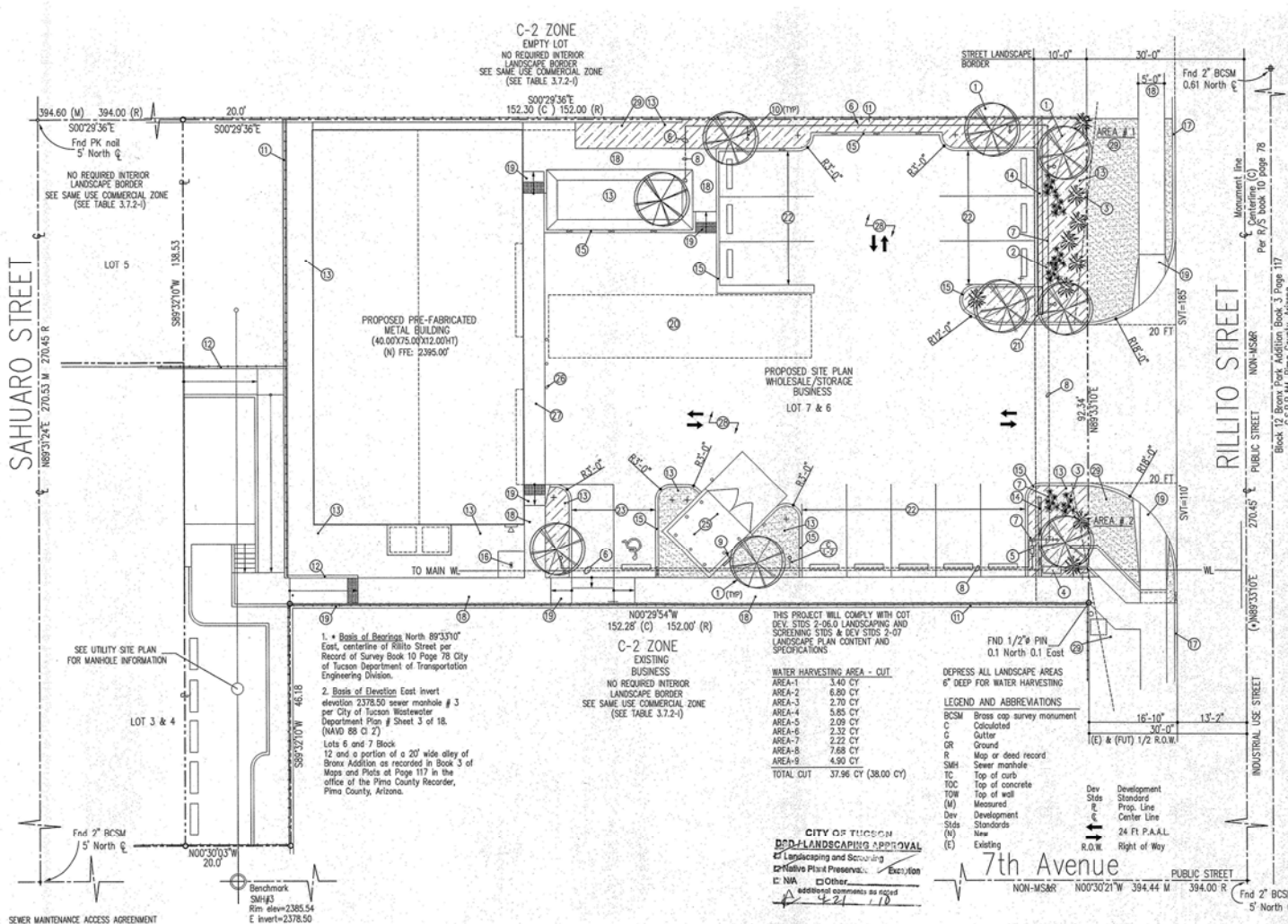


Table with columns for grading keynotes (1-22) and their descriptions, including quantities for concrete, curb, and other materials.

DEVELOPER/OWNER: CONNOR DAVID A. 8988 E ROCK LEDGE PLACE, TUCSON, ARIZONA 85704-0988
CITY OF TUCSON: DSD / LANDSCAPING APPROVAL
CITY OF TUCSON: DSD / ZONING APPROVAL
DRAWING INDEX: 8-00 EXISTING SITE, 8-01 PROPOSED SITE, 8-02 DETAILS, 8-03 FINISH GRADES, 8-04 LANDING PLAN, 8-05 DETAILS, 8-06 GRADING PLAN, 8-07 UTILITY PLAN

THIS DOCUMENT IS TO BE USED ONLY FOR THE ADDRESSED SITE PER CONTRACT BETWEEN JACA AND CLIENT. THE REPRODUCIBLE DRAWINGS, TRACINGS, REVISIONS, ETC. ARE THE PROPERTY OF JACA



LOCATION MAP
 THIS PROJECT TO COMPLY W/ DS 2-02.2.1.A.2 LEGAL DESCRIPTION
 3"=1 MILES

- LANDSCAPE KEYNOTES**
- LAND USE CODE / DEV. STDS
- 1 (N) CANOPY TREE PER DEV. STDS SEE CALCULATION
 - 2 (N) SHRUBS PER LUC/DEV STDS SEE CALCULATION
 - 3 (N) GROUNDCOVER PER LUC/DEV STDS SEE CALCULATION
 - 4 (N) 1-1/2" BFPP SEE UTILITY PLAN
 - 5 1" BFPP (IRRIGATION) FOR IRRIGATION LINE SEE PRESSURE VACUUM BREAKER - SEE DETAIL
 - 6 IRRIGATION LINE SEE IRRIGATION NOTES
 - 7 IRRIGATION LINE SEE IRRIGATION NOTES
 - 8 IRRIGATION LINE SLEEVE UNDER CONCRETE SIDEWALK/PARKING SEE IRRIGATION NOTES
 - 9 CONTROLLERS SEE DETAIL
 - 10 SMOKE OUTLET EMITTER COORDINATE WITH LANDSCAPE CONTRACTOR/DEVELOPER SEE DETAIL SEE IRRIGATION NOTES
 - 11 (E) 8 FT HT CL.F. WITH PLASTIC SLATS (OPAQE) TO REMAIN AS IS
 - 12 (N) 6 FT HT CL.F. WITH PLASTIC SLATS (OPAQE) TO REMAIN AS IS
 - 13 (N) 6" DEEP WATER HARVESTING AREA SEE DETAILS
 - 14 (N) 30" HT CMU (SCREENWALL) WITH 16"x6" CPVC FOR WATER FLOW @ 6" O.C. (MIN OF 2')
 - 15 (N) 6" FT CONCRETE CURB PER DEV. STDS DETAIL 209 W/16"x6" CONC. @ 5'-0" O.C. (MIN OF 2')
 - 16 (N) BIKE RACK TYPE II
 - 17 (E) 6" HT CONCRETE CURB PER DEV. STDS DETAIL 209
 - 18 (N) CONCRETE SIDEWALK PER DEV. STDS 200
 - 19 (N) CONCRETE HANDICAP CURB PER DEV. STDS 200
 - 20 (N) LOADING ZONE STRIPPED AREA (WHITE COLORED) SEE SITE PLAN
 - 21 (N) 8 FT HT CMU WALL
 - 22 (N) PARKING SPACES THRU 12 SEE SITE PLAN SEE DETAIL
 - 23 (N) HANDICAP PARKING 1 SEE IRRIGATION NOTES
 - 24 (N) SCUPPER UNDER SIDEWALK PER DEV. STDS - DETAIL 209 SEE SITE/ENG. PLAN
 - 25 (N) TRASH ENCLOSURE PER DEV. STDS SEE DETAIL
 - 26 (N) CONCRETE BOLLARDS SEE DETAILS
 - 27 (N) 4 FT WIDE STRIPPED WALKWAY (WHITE COLOR) SEE SITE/ENG. PLAN
 - 28 (N) ASPHALT CONCRETE PER DEV. STDS
 - 29 (N) 3/4" DECOMP. GRANITE

WATER HARVESTING AREA - CUT

AREA-1	3.40 CY
AREA-2	6.80 CY
AREA-3	2.70 CY
AREA-4	5.85 CY
AREA-5	2.09 CY
AREA-6	2.32 CY
AREA-7	2.22 CY
AREA-8	7.68 CY
AREA-9	4.90 CY
TOTAL CUT	37.96 CY (38.00 CY)

CITY OF TUCSON
DDP-LANDSCAPING APPROVAL
 Landscaping and Screening
 Native Plant Preservation
 Erosion
 Other

LANDSCAPE CALCULATION BY AREA

REQUIRED PER LUC AND DEV. STDS
 REQUIRED - 3/4" DECOMPOSITE GRANITE
 (A-X) AREA - "X"

A-1	45 FT X 10 FT = 450 SF	113 SF GROUNDCOVER	113 SF SHRUBS	2 CANOPIES
A-2	18 SF X 10 FT = 180 SF	45 SF GROUNDCOVER	45 SF SHRUBS	1 CANOPY

VEHICULAR AREA
 12 PARKING SPACES PROVIDED 1 CANOPY MILL

LANDSCAPE CALCULATION PROVIDED

PROVIDED - 3/4" DECOMPOSITE GRANITE
 (A-X) AREA - "X"

AREA # 1	9 GROUNDCOVERS	11 SHRUBS	2 CANOPIES
AREA # 2	4 GROUNDCOVERS	5 SHRUBS	1 CANOPIES
VEHICULAR AREA	6 CANOPIES		

GROUNDCOVER
 PERUVIAN VERBENA
 VERBENA PERUVIANA
 1 GALLON (1 / 10 SF)

SHRUBS
 CHELEAN MESQUITE
 PROSPERS CHILSENSIS
 15 GALLON

CANOPY TREE
 2 CANOPIES

AREA # 1
 9 GROUNDCOVERS
 11 SHRUBS
 2 CANOPIES

AREA # 2
 4 GROUNDCOVERS
 5 SHRUBS
 1 CANOPIES

VEHICULAR AREA
 6 CANOPIES

(X) 20% of shrubs in landscape border are required to be 5 gallon size 05-2-06.3.5.1 Note: Fifty (50) percent or more of the street landscape border area must have shrubs and vegetative ground cover per L.U.C. 3.7.2.4

ALL LANDSCAPED AREAS TO RECEIVE 2" DECOMPOSITE GRANITE (D.C.) UNLESS OTHERWISE NOTED, INCLUDES AREA BETWEEN CURB & SIDEWALK & ALL GRADED AREAS.

ALL PLANT MATERIALS TO BE ON C.O.T. BROUGHT TOLERANT PLANT LIST

ALL LANDSCAPING WITHIN SIGHT VISIBILITY TRIANGLES TO BE A MAXIMUM OF 30" HIGH, TREES TO HAVE MAX 12" DIA. TRUNK SIZE AND NO BRANCHES OR LIMBS BELOW 6' HIGH.

DEVELOPER/OWNER:
 CONNOR DAVID A.
 690 E ROCK LEDGE PLACE
 TUCSON, ARIZONA 85705-0982
 (520) 823-1487 / (520) 823-1892
 Email: dconnor690@aol.com

J.A.C.A. DESIGN L.L.C.
 DRAPINGTON KEVIN
 TUCSON, ARIZONA
 P.O. BOX 101 - MARANA
 ARIZONA 85938
 (520) 823-4052 - FAX (520) 816-8200
 P.O. BOX 101 - MARANA
 ARIZONA 85938
 (520) 823-4052 - FAX (520) 816-8200
 P.O. BOX 101 - MARANA
 ARIZONA 85938

DRAWING INDEX

- SE-01 EXISTING SITE
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- SE-100 EXISTING SITE

PROPOSED SITE PLAN
WHOLESALE/STORAGE
 114 E RILLITO STREET
 TUCSON, ARIZONA 85705
 Parcel 114-05-1888
 BRONX PARK LOTS 6 & 7
 & PTN ABAND ALLEY
 Docket 10912, Page 1987
 Township 14S, Range 13E, Section 1

SE-01 EXISTING SITE
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SEWER MAINTENANCE ACCESS AGREEMENT
 BETWEEN 114 E. RILLITO STREET AND
 114 E. SAHUARO STREET
 DOCKET 13,781 PAGE 2,035 (4 PAGES)

PARTIAL RELEASE OF SEWER EASEMENT
 114 E RILLITO STREET
 DOCKET 13,781 PAGE 2,039 (3 PAGES)

Infiltration system design, and layout
 per DS 2-05.5.4.A and 2-05.5.5.B

IRRIGATION TOUCHING WILL COMPLY
 W/ DETAIL 400

DSP SYSTEM FILTER WILL COMPLY
 W/ DETAIL 404

SEE SHEET L-2 & L-3 FOR NOTES AND DETAILS

Two working days before you dig
 CALL FOR THE BLUESTAKES
 1-800-782-5348
 Blue Stake Center

Within a vehicular use area, one (1) canopy tree is required for each 10 motor vehicle parking spaces and every parking space shall be located within forty (40) feet of the trunk of a canopy tree (as measured from the center of the tree trunk) per L.U.C. 3.7.2.3.A.1.6. Additional tree is required for vehicle use area.

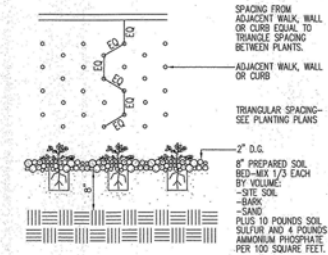
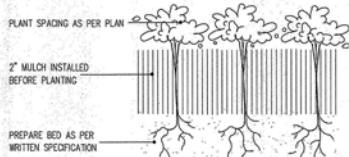
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THIS PROJECT WILL COMPLY WITH THE STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2003 EDITION

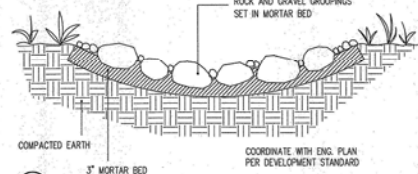
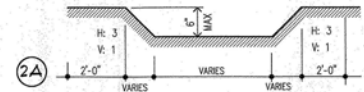
NOTE:
 UNDISTURBED LANDSCAPE TO REMAIN AS IS (U.L.A.I.)
 RES-SEEDED AREA AFFECTED - PER CODE

C:\LANDSCAPING\2010\03-031136-202\03029-11.dwg 10th Apr 19 09:45:05 2010

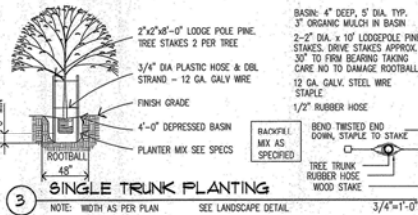
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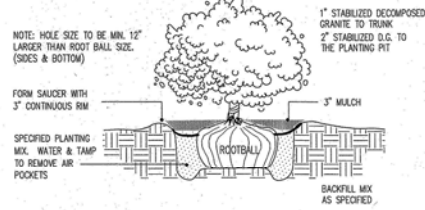
GROUND COVER INSTALLATION
NOTE: WIDTH AS PER PLAN 3/4"=1'-0"



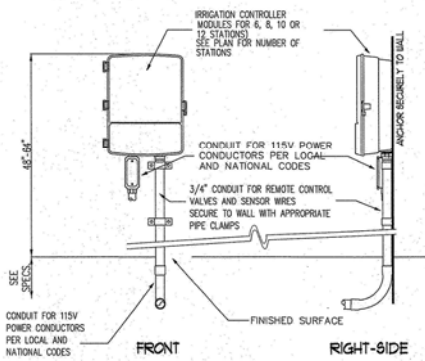
WATER HARVESTING AREA
NOTE: WIDTH AS PER PLAN SEE LANDSCAPE PLAN 3/4"=1'-0"



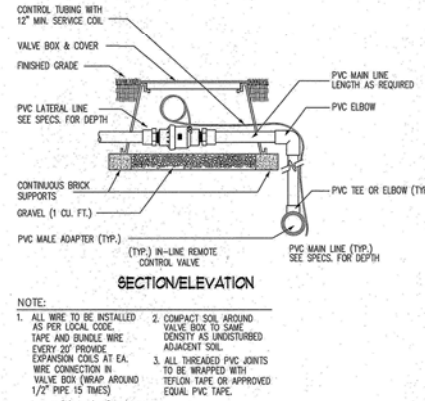
SINGLE TRUNK PLANTING
NOTE: WIDTH AS PER PLAN SEE LANDSCAPE DETAIL 3/4"=1'-0"



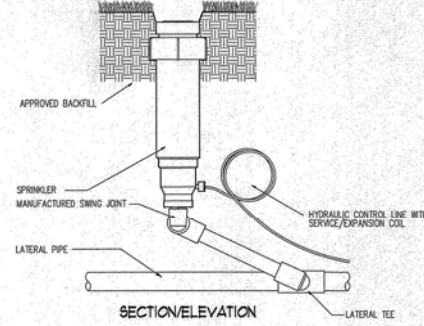
SHRUBS PLANTING
NOTE: WIDTH AS PER PLAN SHRUB INSTALLATION 3/4"=1'-0"



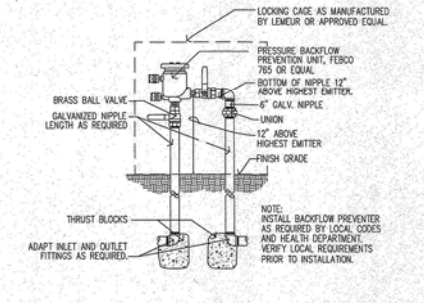
CONTROLLERS - TYP
EXTERIOR WALL-MOUNTED CONTROLLER 3/4"=1'-0"



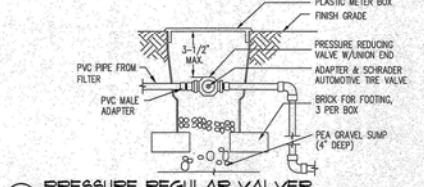
VALVES TYP
3/4", 1" & 1-1/2" PLASTIC VALVE, HYDRAULIC, F/F 3/4"=1'-0"



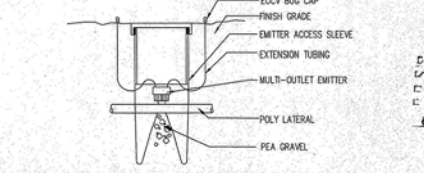
SPRINKLERS - TYP
SINGLE-STREAM SPRINKLER, VALVE-IN-HEAD 3/4"=1'-0"



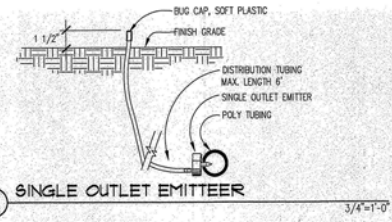
PRESSURE VACUUM BREAKER
3/4"=1'-0"



PRESSURE REGULAR VALVE
3/4"=1'-0"



MULTI-OUTLET EMITTER ASSEMBLY
3/4"=1'-0"



SINGLE OUTLET EMITTER
3/4"=1'-0"

IRRIGATION SYSTEM
(INSTALL BACK FLOW VALVE)
IRRIGATION PER COMPLY 3.7.4.5

INSTALLATION

A. RIGID IRRIGATION PIPES & FLEXIBLE IRRIG. LINES UNDER PAVED SURFACES TO BE CONTAINED IN PIPE SLEEVES.

B. NON - PRESSURE LINES
POLYETHYLENE - BURY TO 8" DEEP
PVC - BURY TO 12" DEEP MIN.

C. PRESSURE LINES
CONSTANT - BURY TO 24" DEEP
INTERMITTENT - BURY TO 18" DEEP

D. DO NOT USE DETERGENTS OR LUBRICANTS IN POLYETHYLENE HOSE CONNECTIONS

E. FLUSH ALL MAINS, SUB-MAINS AND LATERAL AREAS PRIOR TO EMITTER INSTALLATION.

THIS PROJECT TO COMPLY W/
OS 2-06.5.4
WATER SOURCE
MAINLINES 3/4" CW
SLEEVING 3/4" CW 1 1/2" CW

EMITTER QTY.

A. POTTED PLANTS
(1) - 1/2" GPH
B. SHRUBS TO 3' DIA
(1) - 1/2" GPH
C. SHRUBS/TREES 3'-5' DIA
(2) - 1/2" GPH
D. TREES 5'-10' DIA
(3) - 1/2" GPH
E. TREES 10'-20' DIA
(4) - 1" GPH
F. TREES 20' DIA. AND UP
(5) - 1" GPH
G. GROUND COVER
(1) - 1/2" GPH AT 30' O.C.

WATER INSTALLATION WILL COMPLY W/ DETAIL 406
SHRUBS PLANTING WILL COMPLY W/ DETAIL 405
DESERT PLANTING WILL COMPLY W/ DETAIL 409
TREE PLANTING WILL COMPLY W/ DETAIL 410 SHEET 1 & 2

LANDSCAPE MAINTENANCE
MAINTENANCE COMPLY W/ L.U.C. 3.7.6

A. ANY PLANT MATERIAL IN AREAS OF REQUIRED LANDSCAPING THAT DO NOT SURVIVE ARE TO BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN 30 DAYS.

B. PLANT MATERIAL TO BE PRUNED AS REQUIRED TO CONTROL SIZE AND TO MAINTAIN SIGHT VISIBILITY TRIANGLES AND PEDESTRIAN PASSAGE AT SIDEWALKS.

C. ALL REMOVED PLANTS TO BE REPLACED WITH PLANT MATERIALS MEETING CITY OF TUCSON XERISCAPE REQUIREMENTS AND BE ON THE DROUGHT TOLERANT PLANT LIST PER DEVELOPMENT STANDARD 9-6.0-5.0-5.7 (MIN 15 GAL. FOR TREES AND 5 GAL. FOR SHRUBS).

D. LANDSCAPED AREAS TO BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL AND BE MAINTAINED IN A CLEAN AND NEAT FASHION.

E. ALL REQUIRED SCREENING MATERIALS TO BE REPLACED AND REPAIRED AS REQUIRED TO MAINTAIN THE OPACITY OF THE SCREEN.

F. IRRIGATION SYSTEMS TO BE MAINTAINED AND REPLACED AS REQUIRED TO CONSERVE WATER PER C.O.T. REQUIREMENTS.

G. TIMER TO BE SET BETWEEN 8 P.M. AND 8 A.M. BETWEEN MAY AND SEPTEMBER.

H. ALL MAINTENANCE WORK TO BE OWNERS RESPONSIBILITY.

THIS PROJECT TO COMPLY W/ OS 2-15.0
NATIVE PLANT PRESERVATION PLAN
EXCEPTION - ATTACHED

(GROUND COVER)	5 GAL.	12.5 SF / PLANT
(SHRUBS)	5 GAL.	10 SF / PLANT
(TREES)	15 GAL.	

PLANT COVERAGE CALCULATIONS	
DIAMETER	APPROX. AREA (SQ. FT)
1'	.8
2'	3.5
3'	11
4'	16
5'	20
6'	28.5
7'	38.5
8'	50.5

APPROVED PLANS
MUST BE KEPT ON
JOB AT ALL TIMES
Development Services Department

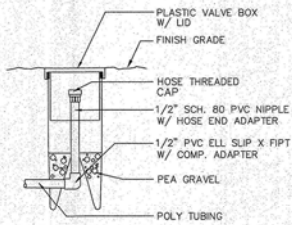
DEVELOPER/OWNER:
CONNOR DAVID A.
6900 E ROCK LEDGE PLACE
TUCSON, ARIZONA 85705-9885
6020 623-1487 / 6020 623-1292

CITY OF TUCSON
LANDSCAPING APPROVAL
C) Landscaping and Screening
C) Native Plant Preservation. Excursion
C) MAINT. C) Other: _____
Additional comments as noted
4-11-2019 1:10

J.A.C.A. DESIGN L.L.C.
DRAWING SERVICES
ARIZONA
P.O. BOX 100 - MARANA
ARIZONA 85658-9889
CELLPHONE 858-4885 FAX 858-4880
POOR ARCHITECTURE IS NOT THE SAME
AS ARCHITECTURE FOR THE POOR

DRAWING INDEX:
S1-00 EXISTING SITE
S1-01 PROPOSED SITE
S1-02 DETAILS
S1-03 DETAILS
L-01 LANDSCAPE PLAN
L-02 DETAILS
L-03 DETAILS
G-01 GRADING PLAN
G-02 DETAILS
U-01 UTILITY PLAN

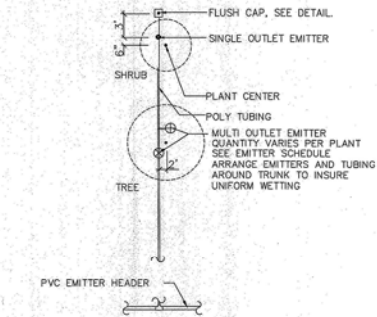
SITE PLAN
WHOLESALE
COMMERCIAL
114 E HILLTOP STREET
TUCSON, ARIZONA 85705
Parcel 115-05-1650
MUNICIPAL PARK 17700 & A
BLK 12 & FTW ARABO ALLEY
Docket 10921, Page 1967
Book 8, Page 117
Township 14S, Range 13E, Section 1
SHEET NO.
1-02
OF 38



TO BE USED ON ENDS OF ALL EMITTER LINES - LOCATE WHERE SHOWN ON PLAN.

A FLUSH CAP ASSEMBLY

3/4"x1'-0"



D EMITTER PLACEMENT

3/4"x1'-0"

PLAN PRESERVATION METHOD (IF APPLY)

MONITORING AND COMPLIANCE

ON-SITE MONITORING.

ON SITE MONITORING OF ALL ASPECTS OF SITE CLEARING, GRADING, PLANT PROTECTION, PRESERVATION, SALVAGE, AND MITIGATION SHALL BE PROVIDED DURING THE PROJECT CONSTRUCTION AS THE EXPENSE OF THE DEVELOPER. THE MONITORING SHALL BE PERFORMED BY AN INDIVIDUAL WHO IS QUALIFIED IN ARIZONA NATIVE PLANT RESOURCE IDENTIFICATION AND PROTECTION AS SPECIFIED IN SECTION 3.8.4 GENERAL PROVISIONS AND REQUIREMENTS. THE MONITOR SHALL DEVELOP A PERIODIC PROCESS REPORTS TO THE DEVELOPER OUTLINING THE STATUS OF WORK ACCOMPLISHED AND ANY PROBLEMS ENCOUNTERED. THE CITY PLANNING AND PARK AND RECREATION DEPARTMENT SHALL RECEIVE A COPY OF THESE REPORT FOR THE PROJECT LIFE.

SUBMITTAL COMPLIANCE

THE MONITOR SHALL BE RESPONSIBLE FOR AN ASSESSMENT OF THE CONDITION OF THE SITE PLANTS - 1 YEAR AFTER THE FINAL INSPECTION HAS BEEN PERFORMED ON THE SITE. THE MONITOR SHALL VISIT THE SITE AND PREPARE A REPORT ON PLANT STATUS, INCLUDING GENERAL PLANT CONDITION, THE IDENTIFICATION OF PLANTS UNDER THE STRESS, AND RECOMMENDATIONS FOR REPLACEMENT OF PLANTS THAT ARE DEAD OR DYING. DEAD OR DYING PLANTS SHALL BE REPLACED WITH THE SAME SIZED PLANT AT THE RATIO OF 1:1 OF LIKE GENUS AND SPECIES.

COPY OF THE REPORT SHALL BE SUBMITTED TO DEVELOPMENT SERVICES LANDSCAPE SECTION. THE OWNER SHALL RESPOND TO THE PLANT NEEDS AS OUTLINED IN THE STATUS REPORT WITHIN 6 MONTHS OF THE REPORT SUBMITTAL OR WITHIN A SHORTER PERIOD, IF REQUIRED TO IMPROVE THE HEALTH OF THE STRESSED PLANTS AND PREVENT LOSS.

NOTES AND KEY

TRANSPLANTABILITY CLASSIFICATION
 LOW LOW VIABILITY TRANSPLANTABILITY
 MED MEDIUM VIABILITY OR TRANSPLANTABILITY
 HIGH HIGH VIABILITY OR TRANSPLANTABILITY

DISPOSITION CLASSIFICATION AND SYMBOLS

o T.O.S. - TRANSPLANT ON SITE
 + R.F.S. - REMOVE FROM SITE

TAGGING PROCEDURE

ALL PLANTS ON THE SITE HAVE BEEN INVENTORIES USING A METAL TAG WITH AN INVENTORY LIST AND NATIVE PLANT INVENTORY PLAN. EACH PLANT HAS BEEN TAGGED WITH COLOR CODED FLAGGING TAPE ATTACHED ACCORDING TO THE FOLLOWING SCHEDULE SO THAT THE DISPOSITION OF EACH PLANT CAN BE EASILY IDENTIFY.

PIP WHITE - PLANTS PROPOSED FOR PRESERVATION ON SITE

TOS BLUE - PLANTS PROPOSED FOR TRANSPLANT ON SITE

RFS YELLOW - PLANT PROPOSED FOR REMOVAL FROM SITE

ONCE AFFIXED THE TAGS SHALL NOT BE REMOVED UNTIL THE APPROPRIATE NATIVE PLANT PRESERVATION PLAN IS IMPLEMENTED AND A FINAL INSPECTION AND SIGNOFF HAS BEEN PERFORMED BY THE PROJECT RESPONSIBLE AND CITY STAFF.

THE COLOR CODED LEGEND SHALL BE GIVEN TO EACH CREW SUPERVISOR AND DISPLAY ON A POSTER IN 3 PROMINENT LOCATIONS ON THE PROJECT SITE FOR VIEWING BY THE PUBLIC AND CONSTRUCTION CREW PERSONNEL.

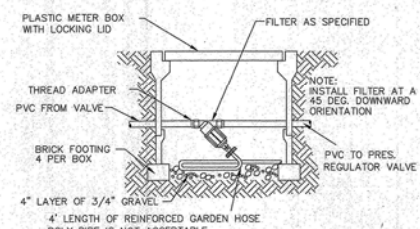
ON SITE NURSERY

A TEMPORARY NURSERY WILL BE ESTABLISHED OFF-SITE AND LOCATED AT NEAREST NURSERY SELECTED BY THE PROJECT RESPONSIBLE. PLANTS WILL BE MAINTAINED ACCORDING TO THE REQUIRED CITY STANDARDS USING AN AUTOMATIC DRIP IRRIGATION SYSTEM.

MITIGATION MEASURES AND PROCEDURES

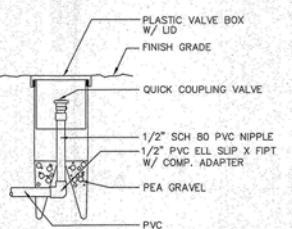
ALL SPECIES THAT ARE IDENTIFIED AS SALVAGEABLE WILL BE SALVAGED DURING THE COURSE OF THIS PROJECT AND UTILIZED ON SITE. THE PREFERRED METHOD OF TREE SALVAGE IS THE SIDE BORING TECHNIQUE. HOWEVER BOTH BOX AND SPADE SALVAGE METHODS MAY BE USED.

ALL TREES WHICHA CALIPER IS LESS THAN 6 INCHES MAY BE SALVAGED WITH A TREE SPADE. THIS ASSUMES THAT AN 80 INCHES SPADE WILL BE USED FOR THE OPERATION AND THAT SOIL CONDITIONS ON THE SITE ARE AMENABLE TO SPADEING. SPECIES SALVAGED WITH THE SPADE WILL BE MOVED ONLY ONE TIME - TO THEIR FINAL PLANTING LOCATION. THIS WILL REQUIRE CAREFUL COORDINATION BETWEEN THE PROJECT MANAGER, GRADING CONTRACTOR AND SPADE CONTRACTOR. THIS INCREASE EFFORT IS WARRANTED BY SIGNIFICANT COST SAVINGS OF A ONE MOVE SPADE OPERATION AND INCREASED SURVIVAL RATES ASSOCIATES WITH MOVING TREES ONLY ONCE WITH A YARD AND THEN A SECOND TIME TO THE FINAL PLANTED LOCATION. IF IT IS DETERMINED THAT THE INTENDED OR SHRUBS CANNOT BE DIRECTLY MOVED INTO ITS FINAL LOCATION THEN THAT TREE OR SHRUBS WILL BE RELOCATED BY THE SIDEBORING TECHNIQUE SO DESCRIBED. FOR TREES THAT HAVE A CALIPER GREATER THAN 6 INCHES, A



B EMITTER SYSTEM FILTER

3/4"x1'-0"



C QUICK COUPLING VALVE

3/4"x1'-0"

MITIGATION MEASURES AND PROCEDURES

SIDE BORING TECHNIQUE WILL BE UTILIZED AND THESE TREES WILL BE STORED IN AN OFF-SITE HOLDING NURSERY. FOR A SALVAGE OPERATION OF THIS SIZE, IT IS RECOMMENDED THAT SALVAGE COMMENCE AT LEAST SIX TO EIGHT WEEKS IN ADVANCE OF GRADING ACTIVITY TO AVOID SCHEDULING CONFLICTS. ALL SALVAGED SPECIES WILL BE PROVIDED WITH TEMPORARY IRRIGATION AT THE HOLDING NURSERY AND PERMANENT IRRIGATION WHEN TRANSPLANTED TO THEIR FINAL LOCATION. AREAS WHERE SALVAGED SPECIES WILL BE TRANSPLANTED INCLUDE LANDSCAPED BUFFERYARDS, ENTRY MONUMENTATION AND OTHER HOURLY VISIBLE LANDSCAPED AREA. SALVAGE CONTRACTORS WILL BE RESPONSIBLE FOR GUARANTEEING ALL SALVAGED PLANT MATERIAL FOR A MINIMUM OF ONE YEAR IN THE HOLDING NURSERY AND FOR 90 DAYS ONCE TRANSPLANTED.

ALL SALVAGEABLE PLANT SPECIES THAT ARE DAMAGED THROUGH CONSTRUCTION OR TRANSPLANTING OPERATION WILL BE REPLACED WITH CONTAINERIZED NURSERY STOCK MATERIALS OF THE SAME SIZE, GENUS AND SPECIES AT THE RATIO OF 1:1 EXISTING SPECIMEN TO NURSERY STOCK PER DEVELOPMENT STANDARD 2-15-4.0. ALL NURSERY STOCK MATERIALS WILL BE PLACED ON A TEMPORARY IRRIGATION SYSTEM UNTIL ESTABLISHED (APPROXIMATELY 10 WEEKS). ALL SALVAGED MATERIAL WILL REQUIRE PERMANENT IRRIGATION.

BOXING VS SPADEING

BOXING TECHNIQUES ARE RECOMMENDED FOR ALL TREES WITH A CALIPER MORE THAN 6 INCHES. THE TREE BOXING OPERATION SHOULD BEGIN, IDEALLY, AT LEAST SIX WEEKS IN ADVANCE OF SITE GRADING TO AVOID SCHEDULING CONFLICTS.

DETERMINATION OF BOX SIZE

FOR THOSE TREES, WHICH ARE GREATER THAN 6 INCHES IN CALIPER, THE SIZE OF BOX THAT THE TREE WILL BE TRANSPLANTED INTO MUST BE DETERMINE PRIOR TO BEGINNING THE TRANSPLANT PROCEDURE. IN GENERAL, THE FOLLOWING SIZE RANGERS APPLY:

TRUNK DIAMETER	BOX SIZE
3.5 - 4.0"	24"
4.0-5.5"	36"
5.5-7.5"	48"
7.0-9.5"	48"
9.0-11.5"	54"
11.0-13.5"	60"
13.0-15.5"	66"
15.5-18.0"	72"

PRUNING

LIMIT PRUNING TO LESS THAN 15% OF THE TOTAL TREE CANOPY. THE OBJECTIVE IS TO PROVIDE AN AESTHETIC FRAMEWORK OF BRANCHES THAT PRESERVES THE ORIGINAL NATURAL CHARACTER OF THE TREE BEING SALVAGED. RESTRICT PRUNING TO AS SMALL CUTS AS POSSIBLE JUST OUTSIDE OF THE BRANCH COLLAR. DO NOT PRUNE INTERNAL FORKAGE. USE CLEAN TOOLS ONLY. PRUNE OUT ALL DEAD WOOD AND MISLEAD.

SIDEBORING AND CONSTRUCTION OF BOX

EXCAVATION PROCEDURE

AFTER COMPLETION OF THE PRUNING WORK, THE TREES CAN BE SIDE-BORING. IRRIGATE THE TREE AND SOIL AROUND THE TREE BEFORE BOXING. EXCAVATE AT THE BASE OF EACH TREE AND FROM THE ROOT BALL TO THE PROPER SIZE. USE HAND EXCAVATION AND BOXING WORK SHOULD NOT DISTURB THE TAPROOT OR OTHER ROOTS AT THE BASE OF THE ROOT BALL.

A TRENCH SHOULD BE DUG AROUND THE TREE TO ENABLE THE PLACING OF THE BOX SIDES. CAREFULLY CUT THE ROOTS FLUSH WITH THE SIDE OF THE ROOT BALL AS THEY ARE ENCOUNTERED. CUT ROOTS CLEANLY SHARP TOOLS TO WASHING AND SPLITTING OF THE ROOTS. AS THE TRENCH PROGRESSES AROUND THE TREE, GRADUALLY CUT THE ROOT BALL INWARD TO ACCOMMODATE THE TAPER OF THE BOX. WHEN THE TRENCH REACHES THE DEPTH OF THE BOX, PLACE OF THE BOX SIDES IN THE TRENCH AND CHECK THE FIT AROUND THE ROOT BALL WITH NAILS. PACK SOIL TIGHTLY INTO ANY SPACE BETWEEN THE BOX SIDES AND THE ROOT BALL. WATER THE ROOT AREA THOROUGHLY AND REPACK WITH SOIL AS NEEDED.

THE SIDE-BORING TREES SHOULD REMAIN IN THEIR EXISTING LOCATIONS, WITHOUT MODIFICATIONS TO THE ROOT SYSTEM AT THE BASE OF THE ROOT BALL, FOR A PERIOD OF APPROXIMATELY 4-6 WEEKS AFTER COMPLETION OF SIDE BORING WORK. THIS FIELD MAINTENANCE PERIOD ALLOWS TREES TIME TO COMPENSATE FOR THE LOSS OF MAJOR LATERAL ROOTS WHICH WERE CUT DURING

SIDE BORING. ALL TREES SHOULD BE TOP-BRACED DURING THIS PERIOD. THE TREES SHOULD BE IRRIGATED TO KEEP THE ENTIRE ROOT BALL MOIST. ALL TREES SHOULD BE TREATED FOR PEST INFESTATION BY THE APPROPRIATE SPRAYING AND SYSTEMIC PROCESSES. AFTER COMPLETION OF 4-6 WEEK FIELD MAINTENANCE PERIOD, THE ROOT SYSTEM AT THE BASE OF EACH SALVAGED TREE CAN BE CUT AND THE BOTTOM OF THE BOX INSTALLED.

CONSTRUCTION OF BOX SIDES

BOXES SHOULD BE CONSTRUCTED OF WOOD RESISTANT TO ROT AND FUNGUS, AND CAPABLE OF LASTING 1 - 2 YEARS IN A TEMPORARY HOLDING NURSERY. THE FOLLOWING ARE ROUND GUIDE-LINES, WHICH MAY BE MODIFIED TO FIT DIFFERENT CIRCUMSTANCES.

HORIZONTAL MEMBERS

1" MATERIAL UP TO 60" BOX

2" MATERIAL OVER 60" BOX

VERTICAL MEMBERS

1" MATERIAL UP TO 42" BOX

2" MATERIAL OVER 42" BOX

1" MATERIAL IS USUALLY 1X12 # 5 PINE

2" MATERIAL IS USUALLY 2X12 ECONOMY GRADE

3/4" X 0.25 STEEL STRAPPING IS GENERALLY USED FOR BANDING MATERIAL.

5/8X10.23 IS USUALLY ADEQUATE FOR SMALLER BOXES WHICH WILL NOT BE STORED FOR LONG PERIODS.

BOTTOMING OF BOXES

THE OBJECTIVE OF THE BOTTOMING PROCESS IS TO CUT THE REMAINING ROOTS WHILE MINIMIZING THE LOSS OF SOIL FROM THE BOTTOM OF THE ROOT BALL.

PLACE STAKE A SAFE DISTANCE FROM THE TRENCH IN THE DIRECTION PLANT IS TO BE TIPPED ATTACH THE "COME ALONG" AND ONE END OF A CHAIN. WRAP THE OTHER END OF THE CHAIN AROUND THE BOX AND SECURE. CATCH THE CHAIN UNTIL IS IS TAUT. GRADUALLY UNDERCUT BENEATH THE ROOT BALL. CUT THE TAPROOTS CLEANLY AS THEY ARE ENCOUNTERED.

FREQUENTLY TEST THE TAUTNESS OF THE CHAIN. BEGIN TO TIP THE BOX OVER IN THE DIRECTION OF THE STAKE. WHEN THE BOX BEGINS TO TIP, PLACE A SAFETY BRACE AGAINST THE BOTTOM OF THE BOX TO PREVENT THE BOX FROM FALLING IN CASE OF STAKE OR CHAIN FAILURE.

AS THE BOX IS TIPPED BACK, NAIL THE BOTTOM STRIPS TO THE BOX SIDES, WHEN THE TREE IS FULLY TIPPED AND THE BOTTOM COMPLETELY COVERED, NAIL OTHER BOARDS PERPENDICULARLY ACROSS THE BOTTOM BOARDS.

PLACE BANDING UNDERNEATH THE CROSS MEMBERS AND LOWER THE BOX DOWN TO ITS ORIGINAL ORIENTATION. BRING BANDING UP ALONG THE SIDES AND OVER THE TOP OF THE BOX. TIGHTEN THE BANDING AND SECURE WITH A CAMBOL. ONCE THE TRENCH IS DUG THE BOX MAY BE TIPPED IN ANY ONE OF FOUR DIRECTIONS CORRESPONDING WITH THE BOX SIDES. IN CHOOSING THE DIRECTION TO TIP THE TREE, CONSIDERATION SHOULD BE GIVEN TO LOW BRANCHES ON THE SUBJECT ON THE SUBJECT PLANT, OTHER NEARBY PLANTS, OR ANY OTHER OBSTACLES THAT WOULD IMPIDE TIPPING TO THE EXTENT NECESSARY TO ATTACH THE BOTTOM.

PLACING SUPPORTING TOPWOOD

THE OBJECTIVE OF PLACING TOPWOOD IS TO MINIMIZE MOVEMENT OF THE TREE AND ITS ROOT SYSTEM BY ANCHORING THE TREE TRUNK AND ROOTBALL SECURELY TO THE BOX TO REDUCE THE LOSS OF SOIL DURING TRANSPORTATION AND HANDLING.

MEASURE 2X4 OR 2X6 WOOD TO FIT THE WIDTH OF THE BOX, CUT THE WOOD.

PLACE THE WOOD ON EACH SIDE OF THE TRUNK. NAIL THE WOOD TO THE BOX SIDE.

PLACE CROSS MEMBERS AND ADDITIONAL SUPPORTING WOOD AS NECESSARY BASED ON THE SIZE AND ORIENTATION OF THE TREE.

CITY OF TUCSON
 CITY LANDSCAPING APPROVAL
 I. Landscaping and Stormwater
 II. Native Plant Preservation. Erosion
 C. N/A Other
 Additional comments as noted
 [Signature]

APPROVED PLANS
 MUST BE KEPT ON
 JOB AT ALL TIMES
 Development Services Department

DEVELOPER/OWNER:
 CONNOR DAVID A.
 6909 E ROCK LEDGE PLACE
 TUCSON, ARIZONA 85750-0983
 520-923-1487 / 520-923-1292
 [Email]

114 EAST BRANDER TUCSON, ARIZONA 85710
 JOB NO. 70-268 09-269 09-2110
 START DATE 19 APRIL 2010
 DWG# BY
 J.A.C.A. DESIGN L.L.C.

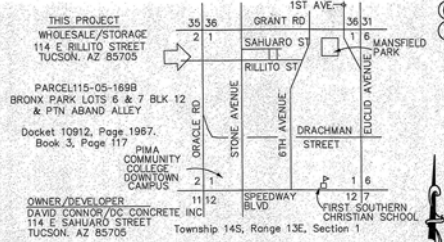
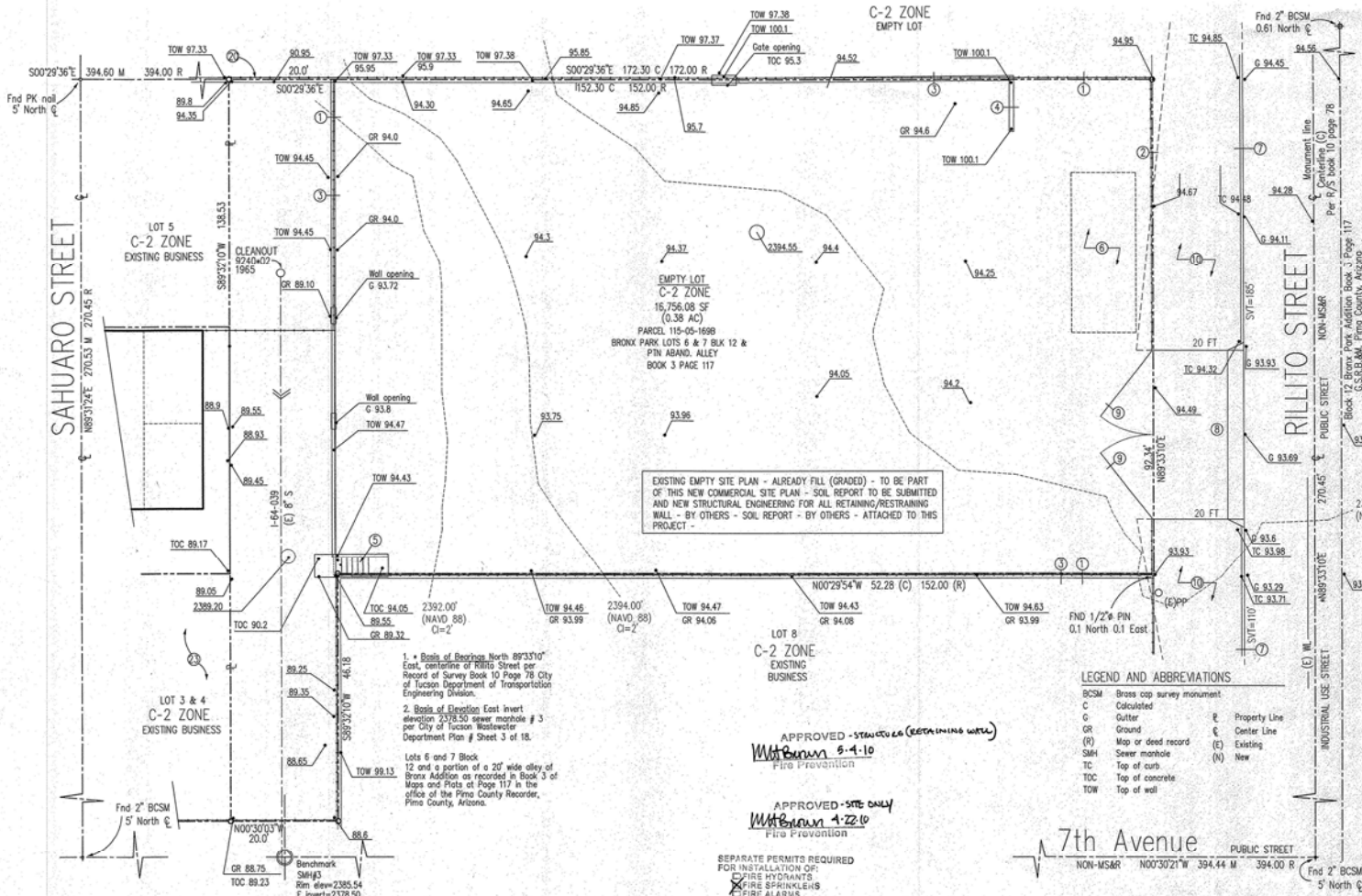
DRAFTING SERVICES
 TUCSON, ARIZONA
 BOX 110 - MARANA
 ARIZONA 85648-9889
 CELL: 280-485-1100 FAX: 520-418-2200
 POOR ARCHITECTURE IS NOT THE SAME AS ARCHITECTURE FOR THE POOR

DRAWING INDEX:

SI-00	EXISTING SITE
SI-01	PROPOSED SITE
SI-02	DETAILS
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L-02	DETAILS
L-03	NOTES
L-04	LANDSCAPE PLAN
L-05	DETAILS
L-06	UTILITY PLAN

PROJECT:
SITE PLAN
WHOLESALE
COMMERCIAL
 114 E HILLIARD STREET
 TUCSON, ARIZONA 85704
 Parcel 115-05-1969
 INDIAN PARK LOT#4 & 5
 BLK 12 & PTV ARABATO ALLEY
 Docket 19912, Page 1967
 Book 5, Page 107
 Township 14S, Range 11E, Section 1
 SHEET NO.
 1-03
 OF 38

T09CM01102/T09B0642



LOCATION MAP
THIS PROJECT TO COMPLY W/ DS 2-02.2.T.A.2 - LEGAL DESCRIPTION
Scale 1"=100'

- KEYNOTES**
- ① (E) 6 FT CHAIN LINK FENCE WITH PLASTIC SLATS - TO REMAIN AS IS
 - ② (E) 6 FT CHAIN LINK FENCE WITH PLASTIC SLATS - TO BE REMOVED SEE PROPOSED SITE PLAN
 - ③ (E) RETAINING/RESTRAINING WALL TO REMAIN AS IS - SEE SITE PLAN
 - ④ (E) RETAINING/RESTRAINING WALL TO BE REMOVED SEE PROPOSED SITE PLAN
 - ⑤ (E) CONCRETE STAIRS TO BE REMOVED (5 FT HT) REMOVE WALL SEE PROPOSED SITE PLAN
 - ⑥ (E) PREFABRICATED CANOPY TO BE REMOVED SEE PROPOSED SITE PLAN
 - ⑦ (E) 6" HT CONCRETE CURB PERCOT/PC STDS TO REMAIN AS IS (L.I.A.O.) SEE PROPOSED SITE PLAN
 - ⑧ (E) ARBOR AND CURB CUT TO BE RELOCATED PER PROPOSED SITE PLAN
 - ⑨ (E) MAIN DOUBLE GATE TO BE REMOVED SEE PROPOSED SITE PLAN
 - ⑩ (E) 3/4" ø DECOMPOSED GRANITE - TO BE REMOVED/RELOCATED PER PROPOSED SITE PLAN

EXISTING EMPTY SITE PLAN - ALREADY FILL (GRADED) - TO BE PART OF THIS NEW COMMERCIAL SITE PLAN - SOIL REPORT TO BE SUBMITTED AND NEW STRUCTURAL ENGINEERING FOR ALL RETAINING/RESTRAINING WALL - BY OTHERS - SOIL REPORT - BY OTHERS - ATTACHED TO THIS PROJECT -

LEGEND AND ABBREVIATIONS

BCSM	Bross cap survey monument	E	Property Line
C	Calculated	CL	Center Line
G	Gutter	(E)	Existing
GR	Ground	(N)	New
(R)	Map or deed record		
SMH	Sewer manhole		
TC	Top of curb		
TOC	Top of concrete		
TOW	Top of wall		

APPROVED - **STANDARDS** (RETAINING WALL)
Winters 5-4-10
Fire Prevention

APPROVED - **SITE ONLY**
Winters 4-22-10
Fire Prevention

SEPARATE PERMITS REQUIRED FOR INSTALLATION OF:
 FIRE HYDRANTS
 FIRE SPRINKLERS
 FIRE ALARMS
 CHOCO SUPPRESSION SYS.
 FIRE SERVICE UNDERGROUND
 OTHER

City of Tucson
Engineering / Floodplain
GRADING PLAN APPROVAL
4/11/10

APPROVED PLANS MUST BE KEPT ON JOB AT ALL TIMES
Development Services Department

EXTERNAL CONSULTANT

SOUTHERN ARIZONA TESTING LABORATORY
P.O. BOX 2508
TUCSON, ARIZONA 85702-2508
602-623-3331 / 602-623-3214
W. KEVIN WALKER, P.E.
GEOLOGICAL ENGINEER
HYDROLOGY STATEMENT
STANLEY ENGINEERING & DRAINAGE
P.O. BOX 1888
TUCSON, ARIZONA 85702-1888
520-390-7920
STRUCTURAL ENGINEER
SOUTHWEST ENGINEERING LLC
STRUCTURAL ENGINEERS
P.O. BOX 3136
TUCSON, ARIZONA 85751
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EVERETT TRUEBLOOD LAND SURVEYING
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520-888-2549

DEVELOPER/OWNER:
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602-623-1487 / 602-623-1292
E-mail: dconnor9960@aol.com
114 EAST SAHUARO - TUCSON, ARIZONA 85705
20R NO. 78-148 09-283 09-2410
STAR DATE: 19 APRIL 2010
D.W.S. BY
J.A.C.A. DESIGN L.L.C.
DRAFTING SERVICES
TUCSON, ARIZONA
ALISON A. MARRAS
P.O. BOX 1181 - MARANA
ARIZONA 85658-1181
CELL (480) 885-0924 - FAX (520) 818-6000
POOL ARCHITECTURE IS NOT A LICENSED AS ARCHITECTURE FOR THE POOL

DRAWING INDEX
S-01 EXISTING SITE
S-02 PROPOSED SITE
S-03 DETAILS
L-01 LANDSCAPE PLAN
L-02 DETAILS
L-03 NOTES
G-02 DETAILS
U-01 UTILITY PLAN

PROJECT: SITE PLAN WHOLESALE COMMERCIAL
114 E RILLITO STREET
TUCSON, ARIZONA 85705
Parcel: 115-05-169B
BRONX PARK LOTS 6 & 7
BLK 12 & PTN ABAND ALLEY
Docket 10912, Page 19B
Book 3, Page 117
Township 14S, Range 13E, Section 1

Sheet No. **SI-00** OF **SH.**

SEWER MAINTENANCE ACCESS AGREEMENT BETWEEN 114 E. RILLITO STREET AND 114 E. SAHUARO STREET
DOCKET 13,781 PAGE 2,035 (4 PAGES)
PARTIAL RELEASE OF SEWER EASEMENT 114 E RILLITO STREET
DOCKET 13,781 PAGE 2,039 (3 PAGES)

1. Basis of Bearings North 89°33'10" East, containing of Rillito Street per Record of Survey Book 10 Page 78 City of Tucson Department of Transportation Engineering Division.
2. Basis of Direction East invert elevation 2378.50 sewer manhole # 3 per City of Tucson Wastewater Department Plan # Sheet 3 of 18.
Lots 6 and 7 Block 12 and a portion of a 20' wide alley of Bronx Addition as recorded in Book 3 of Maps and Plats of Page 117 in the office of the Pima County Recorder, Pima County, Arizona.

(E) SITE CONDITION
PARCEL: 115-05-169B
EXISTING EMPTY LOT
LEGAL DESCRIPTION
BRONX PARK LOTS 6 & 7 BLK 12 & PTN ABAND ALLEY
EXISTING SITE AREA
16,756.08 SF (0.38 AC)
EXISTING ADDRESS
114 E RILLITO STREET, TUCSON ARIZONA 85705
DOCKET 10,912, PAGE 1,967
BOOK 3, PAGE 117
T 14 S R 13 E SEC 01
EXISTING OWNER(S)
CONNOR DAVID A.
6884 W ROCK LEDGE PLACE
TUCSON, ARIZONA 85750-0982
(520) 623-1292

LAND USE CODE - C-2 (EMPTY LOT)
COMMERCIAL ZONE
L.U.C. 2.5.4 - PERMITTED LAND USES
H - STORAGE USE GROUP, SEC 6.3.11
J - WHOLESALE USE GROUP, SEC 6.3.13
(1) BUSINESS SUPPLY AND EQUIPMENT WHOLESALE " 31"
(2) CONSTRUCTION/HEAVY EQUIPMENT WHOLESALE " 31"
(3) FOOD AND BEVERAGE WHOLESALE " 31"

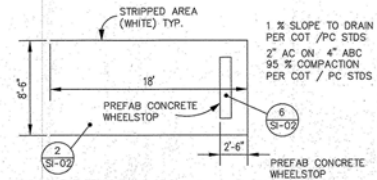
(B) LOCATED IN NONRESIDENTIAL ZONES
DEVELOPMENT DESIGNATOR
SITE AREA
FAR
BUILDING HEIGHT
PERMETER YARD
PERMETER YARD "DO"
ALL COMMERCIAL - (0 FT)
RESIDENCE - 1-1/2 (H)
STREET FRONTAGE - SEC 3.2.6.5 (10 FT)
ADT OF 1,000 OR GREATER
21 FT (THE SETBACK IS MEASURED FROM THE NEAREST TRAVEL LANE)

A PERMIT OR PRIVATE IMPROVEMENT AGREEMENT WILL BE NECESSARY FOR ANY WORK PERFORMED WITHIN IN THE RIGHT OF WAY- CONTACT PERMITS & CODE AT 520-191-3500

Two working days before you do call for the BLUESTAKES
1-800-782-5348
Blue Stake Center

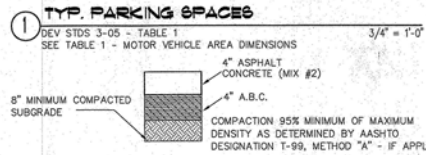
EXISTING SITE PLAN DEMOLITION PLAN
LAND USE CODE - LATEST EDITION
DEVELOPMENT STANDARD - LATEST EDITION
STORMWATER DETENTION/RETENTION MANUAL
WATER HARVESTING GUIDANCE MANUAL
Scale 1"=10'-0"

Records copy
TBR/monica



DEVELOPMENT STANDARD 3-05.0
CRITERIA USE AREA DESIGN CRITERIA
SEE FIG 5 - WHEELSTOP CURBING
DS 3-05.2.3.C.2
BACK-UP SPUR SEE SITE PLAN
DS 3-05.2.2.D
2 WAY PAAL - 24'-0"

3" RADIUS (6" HIGH VERTICAL CONCRETE CURB)
3" CLEARANCE TO CURB AND
3" FROM ANY BARRIER OVER 6" IN HEIGHT
PLANTING AREA
SEE LANDSCAPE PLAN FOR LOCATION
IF APPLY DS 2-06.3.3.C



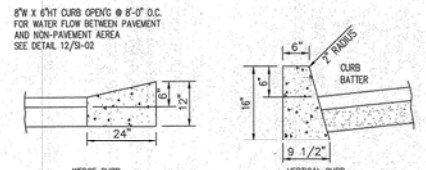
OPTIONAL:
3-1/2" OF ASPHALTIC CONCRETE SUPPORTED
BY SUB-GRADE COMPACTED 80% RELATIVE
DENSITY PER STANDARD SPECIFICATION FOR
PUBLIC IMPROVEMENT

STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT OR EQ 3/4" = 1'-0"

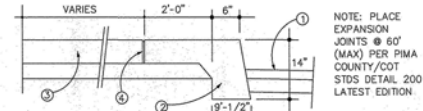
CURB NOTES:

- 1) ALL CONCRETE CURBS AND TRANSITIONS, SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND BE CLASS "B"
- 2) MAXIMUM SPACING ON SCORED JOINT SHALL BE 15 FEET
- 3) ONE HALF INCH THICK EXPANSION JOINTS SHALL BE LOCATED AT TANGENT POINTS IN CURB RETURNS, TRANSITIONS, AND AT MAXIMUM OF 50 FEET INTERVALS. EXPANSION MATERIAL SHALL ALSO BE PLACED BETWEEN CURBS AND ADJACENT STRUCTURES, SIDEWALKS, DRIVEWAYS AND HANDICAP RAMPS. THE 1/2 INCH JOINT FILLER SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
- 4) CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FOLLOWED BY BRUSHING WITH A FINE BRUSH ALONG THE LENGTH OF THE CURB AND GUTTER.
- 5) ALL FLOW LINES OF GUTTERS SHALL BE TROWELED TO AN ACCURATE GRADE
- 6) WHEN THE SLOPE OF PAVEMENT IS AWAY FROM CURB AND GUTTER SLOPE OF THE OUTER SHALL MATCH THE PAVEMENT CROSS SLOPE
- 7) SINGLE CURB AND CURB AND GUTTER MAY BE CONSTRUCTED BY THE USE OF FORMS OR THE CONCRETE MAY BE EXTRUDED
- 8) ALL EXPOSED EDGES AND HAND TOOLED JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4 INCHES RADIUS UNLESS A LARGER RADIUS IS INDICATED

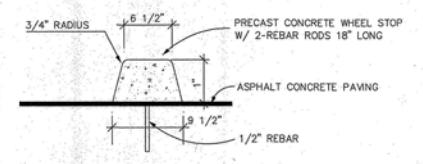
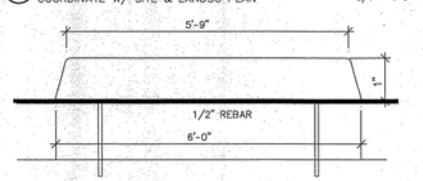
CONCRETE CURB TO COMPLY WITH COT/PC STANDARDS - LATEST EDITION



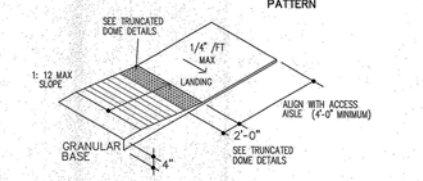
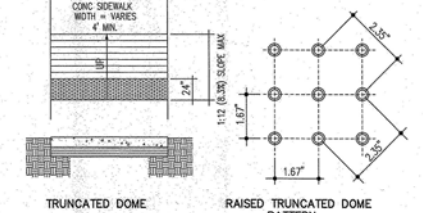
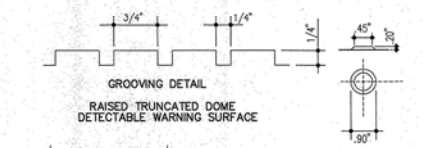
WEDGE CURB
CONCRETE CURB
DETAIL 209 SHEET 1 THRU 3 COT/PC STDS 3/4" = 1'-0"



NOTE: PLACE EXPANSION JOINTS @ 60' (MAX) PER PIMA COUNTY/COT STDS DETAIL 200 LATEST EDITION



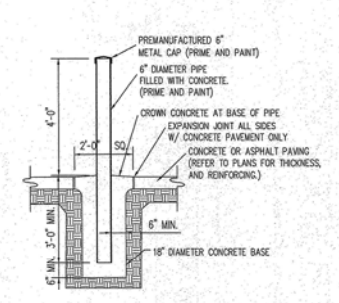
WHEELSTOP CONCRETE (BUMPER)
PER DEV. STDS AND LAND USE CODE REQUIREMENT 3/4" = 1'-0"



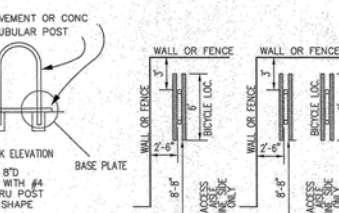
SIDEWALKS (FLOOD DRAIN)
AT ANY POINT OF 10 YEAR FLOOD DISCHARGE START TO CROSS A SIDEWALK, THE SIDEWALK SHALL BE DESIGNED AND CONSTRUCTED TO CONVEY THE 10 YEAR FLOOD FLOW UNDER THE SIDEWALK

CONCRETE CURB TO COMPLY WITH COT/PC STANDARDS - LATEST EDITION

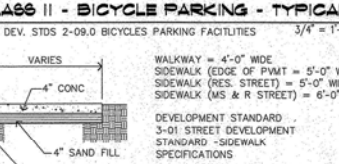
THIS PROJECT WILL COMPLY WITH STANDARD DETAILS FOR PUBLIC IMPROVEMENT, 2003 EDITION



TYPICAL BOLLARD
PER DEV. STDS, COT/PC DETAILS 106 3/4" = 1'-0"



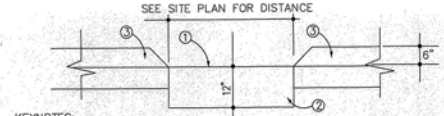
CLASS II - BICYCLE PARKING - TYPICAL
PER DEV. STDS 2-09.0 BICYCLES PARKING FACILITIES 3/4" = 1'-0"



SIDEWALK DETAIL
PER DEV. STDS, COT/PC DETAILS 200 3/4" = 1'-0"

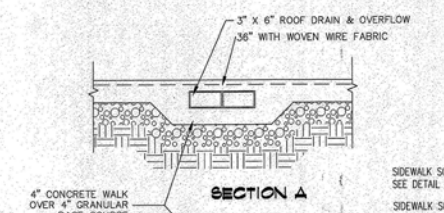
City of Tucson
ENGINEERING APPROVAL
MDE D SVT D OTHER B
City of Tucson
ENGINEERING APPROVAL
MDE D SVT D OTHER B
City of Tucson
ENGINEERING APPROVAL
MDE D SVT D OTHER B

City of Tucson
Engineering / Floodplain
GRADING PLAN APPROVAL
T09B00012

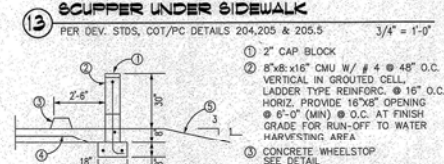


KEYNOTES:
1 FINISH PAVEMENT
2 CONCRETE HEADER PER DETAIL 213
3 EXTRUDED CURB PER COT/PC STDS

PER DEV. STDS, COT/PC DETAILS 209 3/4" = 1'-0"



SCUPPER UNDER SIDEWALK
PER DEV. STDS, COT/PC DETAILS 204, 205 & 205.5 3/4" = 1'-0"



TYP. 30° SCREENWALL SECTION
PER DEV. STDS, COT/PC DETAILS 109 3/4" = 1'-0"

CITY OF TUCSON
DSD / ZONING APPROVAL
Site Plan C Zoning Plan C Wall
Lot Split C Sign C HPZ
SCZ C Other
APPROVED PLANS
MUST BE KEPT ON
JOB AT ALL TIMES
Development Services Department

DEVELOPER/OWNER:
CONOR DAVIS &
6992 S ROCK LEDGE PLACE
TUCSON, ARIZONA 85706-6682
TUCSON 624-1457 / TUCSON 624-1454
J.A.C.A. DESIGN L.L.C.
TUCSON, ARIZONA
P.O. BOX 101 - WALANA
ARIZONA 85646-0101
CELL 520 888-0252 - FAX 520 816-6200
PO BOX 101 WALANA ARIZONA 85646-0101
AS ARCHITECTURE FOR THE POOR

ONLY FOR THE ADDRESSED SITE PER CONTRACT BETWEEN JACA AND CLIENT. THE REPRODUCIBLE DRAWINGS, TRACINGS, SEALS, ETC. ARE THE PROPERTY OF JACA

Two working days before you dig,
CALL FOR THE BLUE STAKES

1-800-782-5348
Blue Stake Center

A PERMIT OR PRIVATE IMPROVEMENT AGREEMENT WILL BE NECESSARY FOR ANY WORK PERFORMED WITHIN IN THE RIGHT OF WAY. CONTACT PERMITS & CODE AT 520-191-5500

GENERAL NOTES

ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

THIS PROJECT HAS "0" EXISTING AND "14" PROPOSED WASTEWATER FUTURE UNIT EQUIVALENTS PER TABLE 13.20.045(C)(1) IN PIMA COUNTY CODE 13.20.045(C).

ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).

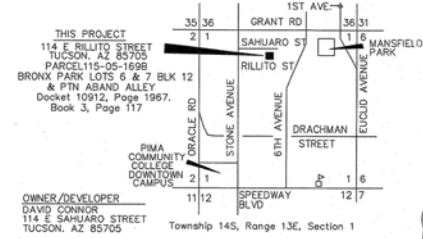
ON-SITE SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHT-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.

PERMITTING NOTES

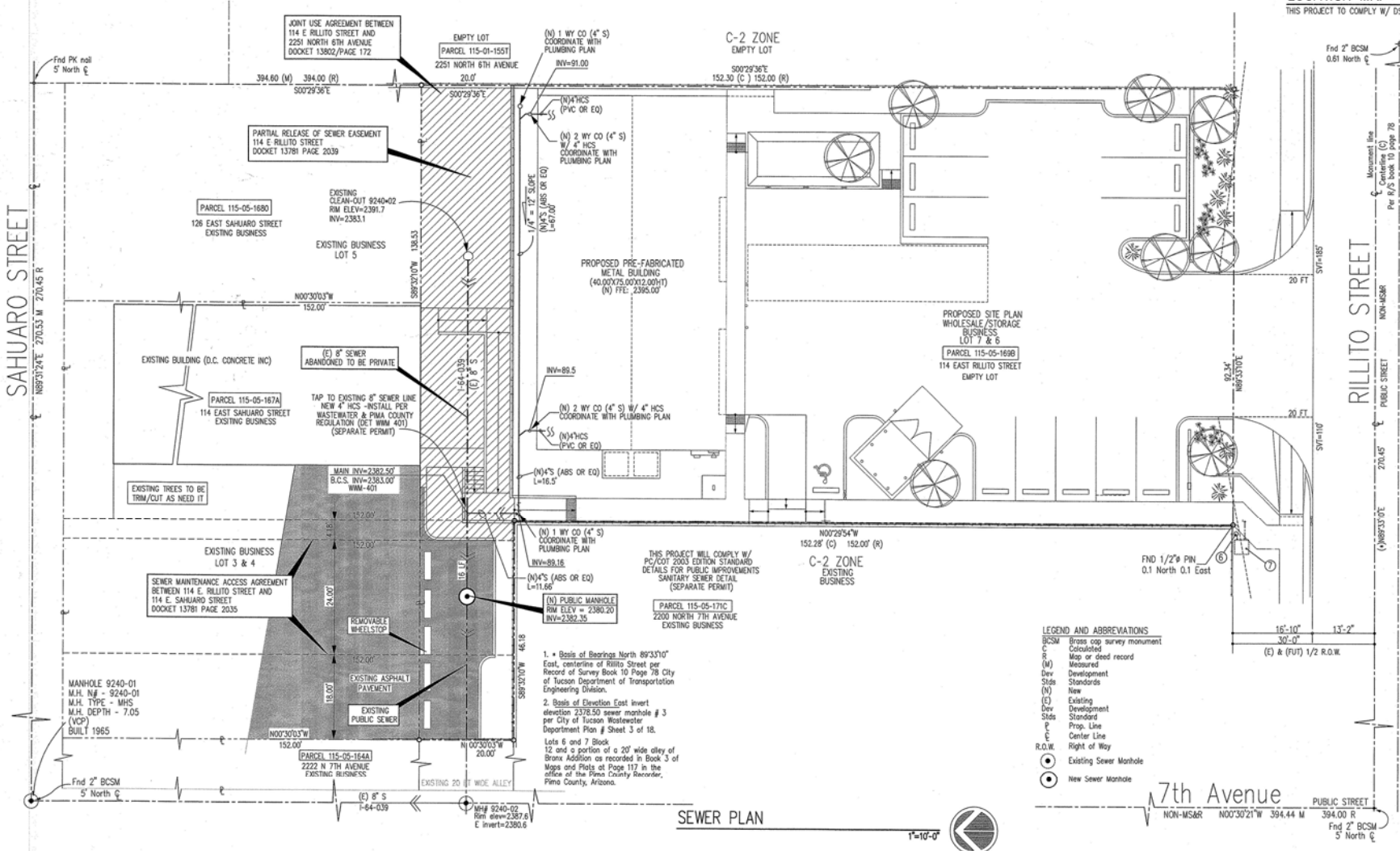
A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION BEFORE BEGINNING ANY WORK ON THIS PROJECT.

NO PERMITS SHALL BE ISSUED FOR ANY PERMANENT STRUCTURES TO BE BUILT WITHIN THE PUBLIC SEWER EASEMENTS SHOWN HEREON WITHOUT SEPARATE WRITTEN AUTHORIZATION FROM THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.

ALL LANDSCAPING WITHIN THE PUBLIC SEWER EASEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE PLANTING GUIDELINES CONTAINED WITHIN PIMA COUNTY / CITY OF TUCSON STANDARD DETAIL WMM-A-4.



LOCATION MAP
THIS PROJECT TO COMPLY W/ DS 2-02.2.1.A.2 - LEGAL DESCRIPTION
3/4" = 1 MILE



- LEGEND AND ABBREVIATIONS**
- BCSM Brass cap survey monument
 - C Calculated
 - M Map or deed record
 - (M) Measured
 - Dev Development
 - Stds Standards
 - (N) New
 - (E) Existing
 - Dev Development
 - Stds Standard
 - P Prop. Line
 - C Center Line
 - R.O.W. Right of Way
 - Existing Sewer Manhole
 - New Sewer Manhole

1. Basis of Bearings North 89°33'10" East, centerline of Rillito Street per Record of Survey Book 10 Page 78 City of Tucson Department of Transportation Engineering Division.
 2. Basis of Elevation East invert elevation 2378.50 sewer manhole # 3 per City of Tucson Wastewater Department Plan # Sheet 3 of 18.
- Lots 6 and 7 Block 12 and a portion of a 20' wide alley of Bronx Addition as recorded in Book 3 of Maps and Plats of Page 117 in the office of the Pima County Recorder, Pima County, Arizona.

SEWER PLAN

1" = 10'-0"



DRIVES BY
J.A.C.A. DESIGN L.L.C.
DRAINAGE SERVICES
PLANNING & DESIGN
114 EAST SAHUARRO STREET
TUCSON, ARIZONA 85705
PH: 520-298-1888
FAX: 520-298-1889
WWW.JACADDESIGN.COM
PO BOX 10000 TUCSON, ARIZONA 85710

PIMA COUNTY
WASTEWATER MANAGEMENT
MAPPING AND RECORDS
PLANS DIVISION

APPROVED
APPROVED AS SHOWN
APPROVED AS SHOWN

19263
JEFFREY A. STANLEY
REGISTERED PROFESSIONAL ENGINEER
EXPIRE 06/30/2020

19263
JEFFREY A. STANLEY
REGISTERED PROFESSIONAL ENGINEER
EXPIRE 06/30/2020

JOB NO. 19-218
05-2019

STAR DATE 13 MAY 2019

OWNER/OWNER:
CONNOR DAVID A.
114 EAST SAHUARRO STREET
TUCSON, ARIZONA 85705
602-624-1487 / 602-624-1292

DRAWING INDEX:
U-02 SEWER PLAN
PROJECT:
SEWER PLAN
114 E RILLITO STREET
TUCSON, ARIZONA 85705
Parcel 115-05-1698
BRONX PARK LOTS 6 & 7
BLK 12 & PTN ABAND ALLEY
Docket 19912, Page 1997
Book 3, Page 117
T 14S, Range 13E, Section 1
SHEET NO. 10

OF U-02
T09CM01102 D10-01005

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